PLAN AND ZONING COMMISSION

Meeting Agenda
Tuesday, November 4, 2025
6:30 PM

City Council Chambers
1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair
Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter
Lisa West
Todd Ripper
Phil Tuning

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning Commission meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Approval of the November 4, 2025 Agenda

Consider MOTION to approve and accept the November 4, 2025 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes of the October 21, 2025 Plan and Zoning Commission meeting

Consider MOTION to approve and accept the October 21, 2025, minutes of the Plan and Zoning Commission meeting.

2. Deer Creek Reserve Plat 1 Final Plat and Deer Creek Reserve Site Plan

Consider MOTION to recommend City Council approval of the Deer Creek Reserve Plat 1 Final Plat.

Consider MOTION to approve the site plan for Deer Creek Reserve, subject to recordation of the Deer Creek Reserve Plat 1 Final Plat.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #2.

F. REMOVED CONSENT AGENDA ITEMS:

G. REPORTS:

Director and Commissioner Reports

1. November 3, 2025, City Council Report
2. Tentative Agenda items for Tuesday, November 18, 2025
3. October 2025 Building Permit Report
4. Commissioner's Reports

H. ADJOURNMENT:

Consider MOTION to adjourn the meeting.

PLAN AND ZONING COMMISSION

Plan and Zoning Commission Agenda

November 4, 2025
6:30 PM

Ted Rapp, Chair
Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter
Lisa West
Todd Ripper
Phil Tuning

ITEM NAME
Approval of the November 4, 2025 Agenda

ORIGINATING DEPARTMENT
Community Development

COUNCIL GOAL
Ensure Economic Vitality

ACTION REQUESTED
Motion
LEGAL

EXECUTIVE SUMMARY

CITY MANAGER/STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S)

FISCAL IMPACT

PUBLIC OUTREACH EFFORTS

ACTION REQUESTED
Consider MOTION to approve and accept the November 4, 2025 agenda with/without amendments.

ATTACHMENTS
None

PLAN AND ZONING COMMISSION

Plan and Zoning Commission Agenda

November 4, 2025
6:30 PM

Ted Rapp, Chair
Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter
Lisa West
Todd Ripper
Phil Tuning

ITEM NAME
Minutes of the October 21, 2025 Plan and Zoning Commission meeting

ORIGINATING DEPARTMENT
Community Development

COUNCIL GOAL
Ensure Economic Vitality

ACTION REQUESTED
Motion
LEGAL

EXECUTIVE SUMMARY

CITY MANAGER/STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S)

FISCAL IMPACT

PUBLIC OUTREACH EFFORTS

ACTION REQUESTED
Consider MOTION to approve and accept the October 21, 2025, minutes of the Plan and Zoning Commission meeting.

ATTACHMENTS

1. P&Z Minutes 2025-10-21

Meeting Minutes
Plan & Zoning Commission Meeting
Tuesday, October 21, 2025
Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER
Chair Ted Rapp called the October 21, 2025 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL
Members present: Ted Rapp, Glenn Hunter, Trina Flack, Lisa West, Todd Ripper and Phil Tuning. Absent: R.Weisheit
Staff present: Eric Jensen, Eric Carstens, Deb Gervais, Jake Heil, Bryan Morrissey, Ryan Kirschman and Brenda Fuglsang.

AMENDMENTS TO THE AGENDA
Motion by T.Flack to approve and accept the October 21, 2025 agenda without amendments. Second by G.Hunter. All voted aye. Motion carried 6 – 0.

COMMUNICATIONS
There were no communications.

CITIZEN'S REQUEST
There were no requests.

CONSENT AGENDA ITEMS
Item #1. Minutes of the October 7, 2025 Plan and Zoning Commission meeting
Motion to approve and accept the October 7, 2025 minutes of the Plan and Zoning Commission meeting.
Item # 2. Northgate Plat 8 Final Plat
Motion to recommend City Council approval of Northgate Plat 8 Final Plat; and authorize a cost participation request for modified subbase, perforated subdrain, sidewalk oversizing and truncated domes along NE Trilein Drive in the amount estimated to be $138,343.50.
Item #3. 1485 NE 72nd Street - Casey's General Store Site Plan
Motion to approve the site plan for 1485 NE 72nd Street, Casey's General Store Site Plan.
Item #4. Darling Acres Plat 1 Final Plat (County)
Motion to recommend City Council approval of Darling Acres Plat 1 Final Plat, subject to applicable Polk County Subdivision Requirements in lieu of the City of Ankeny Subdivision Regulations.
Item #5. The Reserve at Cherry Glen Preliminary Plat (County)
Motion to recommend City Council approval of The Reserve at Cherry Glen Preliminary Plat, subject to applicable Polk County Subdivision Requirements in lieu of the City of Ankeny Subdivision Requirements.

Motion by L.West to approve the recommendations for Consent Agenda Items #1 - #5. Second by P.Tuning. All voted aye. Motion carried 6 – 0.

Commissioner R.Weisheit arrived at 6:32 pm.

BUSINESS ITEMS

Item #6. Request by City staff to amend the Crosswinds Business Park PUD, Planned Unit Development Zoning

Staff Report: J.Heil reported that City staff is requesting to amend the Crosswinds Business Park PUD, Planned Unit Development. He shared that the PUD was originally zoned in 2008 and is comprised of approximately 444 acres. It is generally located south of SE Corporate Woods Drive, east of Interstate 35, west of SE Four Mile Drive and north of SE 90th Street/NE 54th Avenue. He noted the zoning for the surrounding properties and presented the Future Land Use Map for the area. J.Heil stated that staff's opinion is that certain amendments are needed for the PUD's continued development. He shared the changes being proposed include the addition of data centers and electrical substations as an allowable use in a designated area; and broadening the allowable products that can be manufactured, assembled, compounded, processed and packaged, with a list of exceptions. He said that during the public hearing there were brief discussions between the Commission and staff about electrical substations being their own allowed use. No one in the audience spoke for or against the request. J.Heil shared that City staff have met with five separate property owners, comprising of 74% of the land area within the Crosswinds Business Park PUD, regarding the proposed changes to the PUD and none of the property owners objected to the proposed changes, and welcomed the greater flexibility. He said that it is in staff's opinion that the proposed amendments to the Crosswinds Business Park PUD provide greater flexibility and clarification on allowable uses but does not revise the original vision and intent of the development. Staff recommends the Plan and Zoning Commission recommend City Council approval of the request by City staff, to amend the Crosswinds Business Park PUD, Planned Unit Development zoning.

Motion by T.Flack to recommend City Council approval of the request by City staff, to amend the Crosswinds Business Park PUD, Planned Unit Development zoning. Second by G.Hunter. All voted aye. Motion carried 7 – 0.

REPORTS

City Council Meeting

E.Jensen reported on the October 20, 2025 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the Tuesday, November 4, 2025 Plan and Zoning Commission meeting.

Commissioner's Reports

Chair Ted Rapp, Commissioner Trina Flack, and staff shared that they were very pleased with the outcome of the APA State Conference in Ankeny.

ADJOURNMENT

There being no further business, Chair Rapp moved to adjourn the meeting. Meeting adjourned at 6:48 p.m.

Brenda Fuglsang

Submitted by Brenda Fuglsang
Recording Secretary
Plan & Zoning Commission

PLAN AND ZONING COMMISSION

Plan and Zoning Commission Agenda

November 4, 2025
6:30 PM

Ted Rapp, Chair
Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter
Lisa West
Todd Ripper
Phil Tuning

ITEM NAME
Deer Creek Reserve Plat 1 Final Plat and Deer Creek Reserve Site Plan

ORIGINATING DEPARTMENT
Community Development

COUNCIL GOAL
Ensure Economic Vitality

ACTION REQUESTED
Motion
LEGAL

EXECUTIVE SUMMARY

See attached staff report.

CITY MANAGER/STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S)

FISCAL IMPACT

PUBLIC OUTREACH EFFORTS

ACTION REQUESTED

Consider MOTION to recommend City Council approval of the Deer Creek Reserve Plat 1 Final Plat.

Consider MOTION to approve the site plan for Deer Creek Reserve, subject to recordation of the Deer Creek Reserve Plat 1 Final Plat.

ATTACHMENTS

1. Aerial Map
2. Staff Report
3. Applicant Letter
4. Deer Creek Reserve Plat 1 - FP
5. Deer Creek Reserve - SP
6. Deer Creek Reserve - Elevations and Trash Enclosure

N

1 inch = 300 feet

Date: 10/30/2025

Deer Creek Reserve
Final Plat and Site Plan
Aerial Map

Ankeny
bringing it all together.

Plan and Zoning Commission
Staff Report

Meeting Date: November 3, 2025

Agenda Item: Deer Creek Reserve Final Plat and Site Plan
Report Date: October 30, 2025
Prepared by: Jake Heil, EJC
Associate Planner

Staff Recommendation:
That the Plan and Zoning Commission recommend City Council approval of Deer Creek Reserve Plat 1 Final Plat.

That the Plan and Zoning Commission approve Deer Creek Reserve Site Plan subject to recordation of the final plat.

Project Summary:
Deer Creek Reserve, LLC has proposed Deer Creek Reserve, a 10.79-acre final plat and site plan located north of E. 1st Street (NE 94th Avenue), south of NE 6th Street and east of NE Four Mile Drive. Deer Creek Reserve Plat 1 includes one developable lot and an outlot for future phases of the development. The subject property is zoned Deer Creek Planned Unit Development, PUD with surrounding properties similarly zoned. It is considered as "Parcel Q" within the Deer Creek PUD, which is identified as Multi-Family Attached Residential, with the site utilizing the alternative bulk regulations for Multi-Family Attached Residential within the Deer Creek PUD.

Project Report:
The general layout of the project site shows 19 three-story apartment buildings with 10 or 14 units, for a total of 258 units. The proposed buildings meet all setbacks and are separated a minimum of 25 feet apart. Primary access to the site is provided via NE Four Mile Drive to the west. This will be the only access for Phase 1. Future phases will provide additional access to the north via NE 6th Street and to the east via a future extension of NE Meadow Landing Drive.

Eight-inch water and eight-inch sanitary service will be provided for the proposed development and will connect to the existing services off of NE Four Mile Drive. Storm sewer pipes will run throughout the entirety of the development leading to a stormwater management area in the northwest corner of the plat. Storm water will then flow west via storm sewer mains before ultimately conveying into Four Mile Creek.

A landscaping plan has been included as part of the site plan. Screening has been provided along the north property line adjacent to residential properties and along NE Four Mile Drive as required in the Deer Creek PUD. All other open space and landscaping requirements have been met. Additionally, the applicant has requested payment in lieu of a park site dedication. This payment will be required before Council submission of the final plat. Parking for the site requires one parking stall per bedroom and one parking stall for every three units. A total of 338 parking stalls is required for a development of this kind, with 447 stalls being proposed as a part of the site plan, meeting the minimum parking requirements. Elevations for the apartments have been included with the site plan. Elevations include the use of stone, LP smart siding, glass and aluminum accents.

CITY OF ANKENY
SUBDIVISION DATA

NAME OF PLAT:	**Deer Creek Reserve Plat 1**
NAME OF OWNER:	**Deer Creek Reserve, LLC**
NAME OF DEVELOPER:	**Deer Creek Reserve, LLC**

GENERAL INFORMATION:

PLAT LOCATION: North of East 1st Street (NE 94th Avenue), east of NE Four Mile Drive
SIZE OF PLAT: 10.79 acres
ZONING: Deer Creek PUD

LOTS:

NUMBER:	1 multi-family lot
SIZE/DENSITY:	23.9 units per acre
USE:	Multi-Family Residential
BUILDING LINES:	
	Front: 30 feet
	Rear: 35 feet
	Building separation: 25 feet

PARK SITE DEDICATION: The developer requests that the City accept payment in lieu of parkland, in an amount equal to $14,400.00 based on $32,000.00 per acre, to fulfill the parkland dedication requirement as specified in the City's Subdivision Regulations in Chapter 200.35.A.1 (Criteria for Requiring Parkland Dedication) for Development.

ADJACENT LANDS:

NORTH:	Deer Creek PUD
SOUTH:	Deer Creek PUD
EAST:	Deer Creek PUD
WEST:	Deer Creek PUD

STREET DEVELOPMENT:

There are no newly proposed streets with this development.

WASTE WATER:

PROJECTED FLOWS: 258 units x 2.5 pers. Per house x 100 gal. per day/person = 64,500 GPD estimate
TREATMENT PLANT CAPACITY: Design: 47 MGD; current daily avg. 11.2 MGD.

STORM WATER:

BASIN FLOWS: This plat lies in the Four Mile Creek Drainage Basin

WATER SYSTEM:

USAGE: 258 units x 2.5 pers. Per house x 100 gal. per day/person = 64,500 GPD estimate

SUPPLY CAPACITY: 15 MGD; Current daily avg. 6.5 MGD.

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved by staff.

October 10, 2025

Honorable Mayor, City Council and Plan and Zoning Commission Members
c/o Jake Heil
City of Ankeny
1210 NW Prairie Ridge Dr.
Ankeny, Iowa 50023

RE: Deer Creek Reserve Plat 1
Site Plan, Final Plat and Construction Drawing Submittal

Dear Plan and Zoning Commission Members, Council Members, and Honorable Mayor;

On behalf of Deer Creek Reserve LLC, we are pleased to submit herewith a site plan, final plat, and construction drawings for Deer Creek Reserve Plat 1 located within the Deer Creek PUD, east of NE Four Mile Drive, south of NE 6th Street. The property contains approximately 10.78 acres.

Plat 1 will include development of seven multi-family buildings for a total of 94 units, which is consistent with the Deer Creek PUD. The overall project contains 19 buildings for a total of 258 units. There will be private drive connections to NE 6th Street, NE Four Mile Drive, and future NE Meadow Landing Drive. Public sanitary sewer and water main will be extended from the public streets to provide service for the development. Storm water detention will be provided in a new wet-bottom detention basin in the NW corner of the property.

We are requesting that preliminary approval of the final plat be granted by City Council at the next regular City Council meeting.

Sincerely,
CIVIL DESIGN ADVANTAGE, LLC

Emily Harding

Emily Harding, Project Manager

cc: Deer Creek Reserve LLC

DEER CREEK RESERVE PLAT 1

FINAL PLAT

INDEX LEGEND

LOCATION: SEC 17–80–23, PT. NE1/4 SW1/4
SEC 17–80–23, PT. SE1/4 SW1/4

REQUESTOR: DEER CREEK RESERVE LLC
3503 S. MINNESOTA AVENUE
SIOUX FALLS, SD 57104

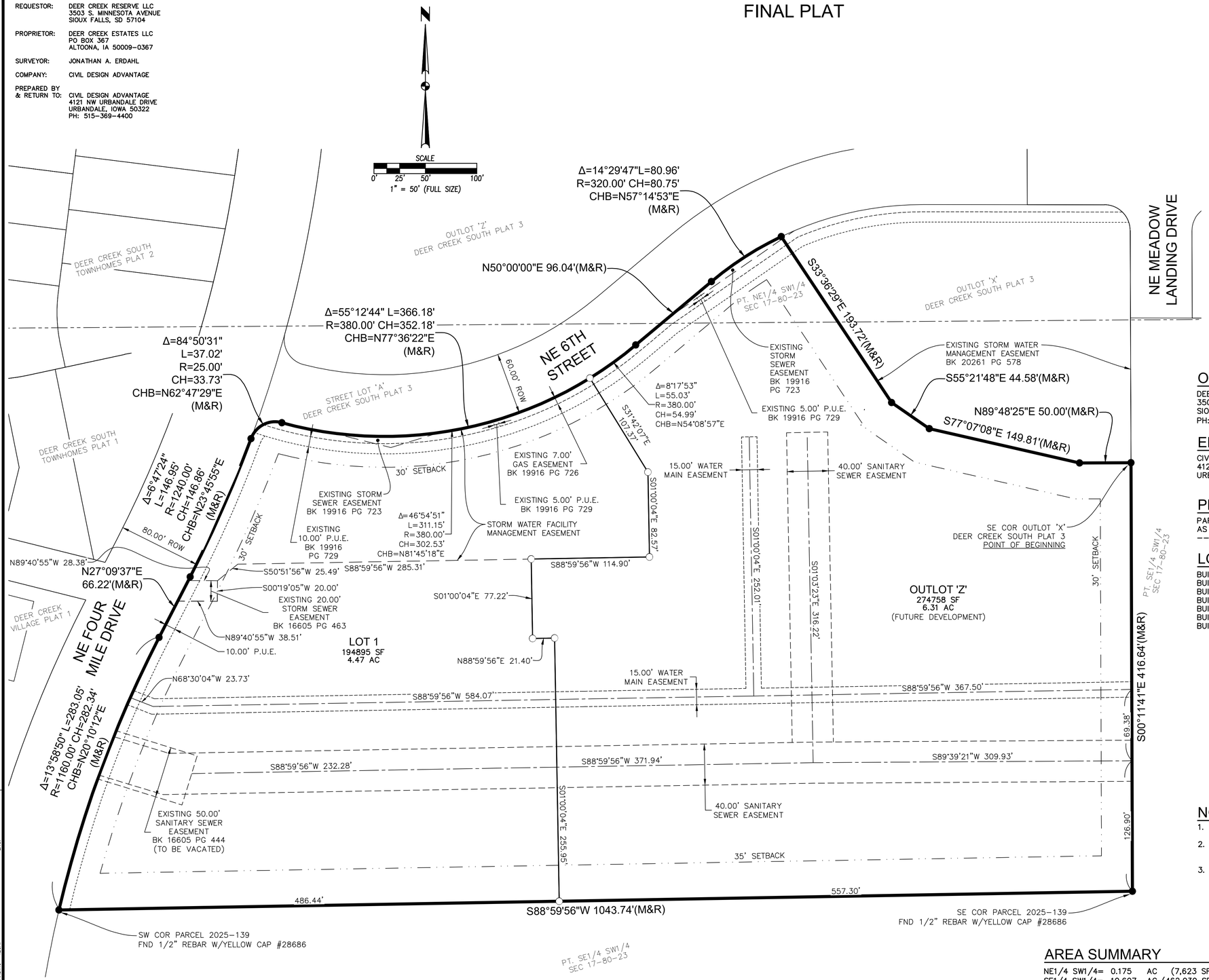
PROPRIETOR: DEER CREEK ESTATES LLC
PO BOX 367
ALTOONA, IA 50009–0367

SURVEYOR: JONATHAN A. ERDAHL

COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: 515–369–4400

AREA ABOVE RESERVED FOR RECORDING STAMP



LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP#18660 (UNLESS OTHERWISE NOTED)	●	
1/2" REBAR, YELLOW PLASTIC CAP#28686 (UNLESS OTHERWISE NOTED)		○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE		
SECTION LINE		
EASEMENT LINE		
BUILDING SETBACK LINE		
PLAT BOUNDARY		

OWNER / DEVELOPER

DEER CREEK RESERVE LLC
3503 S. MINNESOTA AVENUE
SIOUX FALLS, SD 57104
PH: (605) 339–4411

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

ZONING

DEER CREEK PUD

BULK REGULATIONS

FRONT SETBACK: 30'
REAR SETBACK: 35'
BUILDING SEPARATION: 25'

DATE OF SURVEY

SEPTEMBER 16, 2025

PLAT DESCRIPTION

PARCEL 2025–139
AS SHOWN ON
_____

LOT 1 ADDRESSING

BUILDING #100: 402 NE FOUR MILE DRIVE
BUILDING #200: 434 NE FOUR MILE DRIVE
BUILDING #300: 406 NE FOUR MILE DRIVE
BUILDING #400: 468 NE FOUR MILE DRIVE
BUILDING #500: 410 NE FOUR MILE DRIVE
BUILDING #600: 464 NE FOUR MILE DRIVE
BUILDING #700: 414 NE FOUR MILE DRIVE

NOTES

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
3. ALL REQUIRED TURN LANE WIDENING ON NE FOUR MILE DRIVE SHALL BE COMPLETE PRIOR TO TEMPORARY OR FINAL OCCUPANCY BEING ISSUED BY THE CITY TO ANY PROPOSED DWELLING UNITS.

AREA SUMMARY

NE1/4 SW1/4=	0.175	AC	(7,623 SF)
SE1/4 SW1/4=	10.607	AC	(462,030 SF)
TOTAL=	10.78	AC	(469,653 SF)

LICENSED PROFESSIONAL LAND SURVEYOR JONATHAN A. ERDAHL 28686 IOWA

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

JONATHAN A. ERDAHL, P.L.S. DATE
LICENSE NUMBER 28686
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET

REVISIONS	DATE
THIRD SUBMITTAL	10/24/25
SECOND SUBMITTAL	10/10/25
FIRST SUBMITTAL	09/19/25

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: TECH: REVIEW:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE PLAT 1
FINAL PLAT

1/1

2506.448

FILE: H:\2025\2506448\DWG\2506448-FINAL PLAT.DWG
REFERENCE: 10/27/2025 8:14 AM PLOTTED: 10/27/2025 8:14 AM COMMENT:
PLOTTED BY: EMILY HARDING TECH: ENG:

SITE PLAN FOR:

DEER CREEK RESERVE

ANKENY, IOWA

VICINITY MAP

NOT TO SCALE

ANKENY, IOWA

LEGAL DESCRIPTION

LOT 1 DEER CREEK RESERVE PLAT 1

ZONING

DEER CREEK PUD

PROPOSED USE

MULTI-FAMILY RESIDENTIAL (APARTMENTS)

INDEX OF SHEETS

NO.	DESCRIPTION
C1.1	COVER SHEET
C1.2	NOTES
C2.1	REFERENCE PLAN
C3.1–C3.3	DIMENSION PLAN
C4.1–C4.6	GRADING PLAN
C5.1	EROSION CONTROL PLAN
C6.1	UTILITY PLAN
C7.1	DETAILS
L1.0	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

- PROPERTY BOUNDARY
- SECTION LINE
- CENTER LINE
- RIGHT OF WAY — R/W —
- BUILDING SETBACK
- PERMANENT EASEMENT — P/E —
- TEMPORARY EASEMENT — T/E —
- TYPE SW-501 STORM INTAKE
- TYPE SW-502 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-505 STORM INTAKE
- TYPE SW-506 STORM INTAKE
- TYPE SW-512 STORM INTAKE
- TYPE SW-513 STORM INTAKE
- TYPE SW-516 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-402 STORM MANHOLE
- FLARED END SECTION
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- WATER CURB STOP
- SANITARY SEWER
- SANITARY SERVICE — S — S — S —
- STORM SEWER
- STORM SERVICE — ST — ST —
- WATERMAIN WITH SIZE — 8"W —
- WATER SERVICE — W — W —
- SAWCUT (FULL DEPTH)
- SILT FENCE
- USE AS CONSTRUCTED (UAC)
- MINIMUM PROTECTION ELEVATION MPE

EXISTING

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCHMARK
- SOIL BORING
- UNDERGROUND TV CABLE — TV —
- GAS MAIN — G —
- FIBER OPTIC — FO —
- UNDERGROUND TELEPHONE — T —
- OVERHEAD ELECTRIC — OE —
- UNDERGROUND ELECTRIC — E —
- FIELD TILE — TILE —
- SANITARY SEWER W/ SIZE — 8"S —
- STORM SEWER W/ SIZE — 15"ST —
- WATER MAIN W/ SIZE — 8"W —

OWNER

DEER CREEK ESTATES, LLC
160 ADVENTURELAND DRIVE NW
ALTOONA, IA 50009
CONTACT: JEFF GRUBB
PH: (515) 208-5227

APPLICANT

DEER CREEK RESERVE, LLC
3503 S. MINNESOTA AVENUE
SIOUX FALLS, SD 57104
CONTACT: CALEB VELDHOUSE
EMAIL: CALEB@VELDCO.COM
PH: (605) 339-4411

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: EMILY HARDING
EMAIL: EMILYH@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

ARCHITECT

VANDEWALLE ARCHITECTS LLC
210 S PHILLIPS AVENUE
PH: (605) 339-4411

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = OCTOBER 2025
ANTICIPATED FINISH DATE = DECEMBER 2026

SUBMITTAL DATES

FIRST SUBMITTAL: 09/17/2025
SECOND SUBMITTAL: 10/10/2025
THIRD SUBMITTAL: 10/24/2025

DEVELOPMENT SUMMARY

AREA = 469,889 SF (10.79 ACRES)

TOTAL UNITS = 258 UNITS
DENSITY = 23.9 DU/AC

ZONING:
DEER CREEK PUD

BULK REGULATIONS:
MINIMUM FRONT YARD SETBACK: 30'
MINIMUM REAR YARD SETBACK: 35'
BUILDING SEPARATION: 25'

R-3 ZONING REGULATIONS SHALL APPLY TO ANY ITEMS NOT COVERED.

OPEN SPACE CALCULATION:
REQUIRED = 93,979 SF (20%)

TOTAL SITE: = 469,889 SF
BUILDINGS = 68,514 SF
PARKING LOT = 151,721 SF
PROVIDED = 249,654 SF (53%)
(SIDEWALKS ARE INCLUDED AS OPEN SPACE)

PARKING REQUIRED
1 SPACE PER BEDROOM: 302 SPACES
1 SPACE PER 3 UNITS: 86 SPACES
388 SPACES

PARKING PROVIDED
OFF-STREET PARKING: 447 SPACES

DATE OF SURVEY

JULY 03, 2025

BENCHMARKS

CITY
1. FND 1" DISC AT THE SW COR OF SEC 17-80-23. ELEVATION=948.37
2. FND 1" DISC AT THE S1/4 COR OF SEC 17-80-23. ELEVATION=972.44

PROJECT
1. SANITARY MANHOLE @ INTERSECTION OF NE 4TH LANE & NE FOUR MILE DRIVE: ELEVATION = 964.88
2. SANITARY MANHOLE @ INTERSECTION OF NE 6TH STREET & NE FOUR MILE DRIVE: ELEVATION = 965.96

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com
Know what's below. Call before you dig.

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PH: (515) 369-4400
PROJECT NO. 2506.448

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY COSESCO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

FILE: L:\2022\2506448\DWG\2506448-SITE.DWG
PLOTTED BY: EMILY HARDING DATE: 10/27/2025 7:56 AM COMMENT: ENG
TECH:

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT SHALL BE PROVIDED TO THE CITY OF ANKENY STORMWATER DIVISION.
2. THE CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE ACCORDING TO SUDAS AND CITY REQUIREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2025 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATION (SUDAS) MANUAL AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE TOP OF CURB (TC), FORM GRADE (FG), OR TOP OF FINISHED SURFACES (E.G. PAVEMENT, GROUND) UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE THEIR GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
    MAINTAIN 4.9% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.9% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAWCUT JOINTS AS SOON AS CONCRETE HAS SET. SAWCUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. THE INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
14. G.F.E.=GARAGE FLOOR ELEVATION AT OVERHEAD DOOR
15. USE CAST IRON DOMES ON DETECTABLE WARNING STRIPS.
16. BUILDERS SHALL BE RESPONSIBLE FOR PROVIDING THE CITY WITH SURVEY SHOTS BY A PROFESSIONAL LAND SURVEYOR FOR ALL OVERFLOWS ADJACENT TO THE BUILDING AND ANY OTHER CRITICAL OVERFLOWS BEFORE A TEMPORARY CO CAN BE ISSUED FOR ANY UNIT IN THAT BUILDING.
17. POST-CONSTRUCTION VOLUME OF THE DETENTION BASIN WILL NEED TO BE VERIFIED AND PROVIDED TO THE CITY BEFORE A FINAL CERTIFICATE OF OCCUPANCY (CO) CAN BE ISSUED.

LEGEND

TC	TOP OF CURB
FG	FORM GRADE

UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS MANUAL AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATER MAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MECHANICAL/ELECTRICAL/PLUMBING PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ALL MANHOLES, UTILITY VALVES, AND INTAKES TO BE ADJUSTED OR REBUILT TO FINISHED GRADE AS REQUIRED.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANKENY PLUMBING CODE.
8. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
9. ALL WATER MAIN WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE 2025 EDITION OF THE SUDAS SPECIFICATIONS MANUAL. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF ANKENY STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
11. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
13. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
14. FOR INTAKES IN THE 3-INCH ROLLED CURB ADJACENT TO THE SIDEWALK, ADJUST TOP HOOD OF INTAKE CASTING TO MATCH TYPICAL CURB HEIGHT. USE NEENAH R-3067 GRATE OR EQUIVALENT.
15. ALL WATER SERVICE CURB STOPS MUST BE CAST IN CONCRETE.
16. RODENT GUARDS SHALL BE INSTALLED ON ALL APRONS.

NOTE

REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR PUBLIC SANITARY SEWER AND WATER MAIN CONSTRUCTION.

STORM SEWER IS PRIVATE.

GENERAL NOTES

1. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY OF ANKENY DEVELOPMENT ENGINEERING.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. ANY DEVIATIONS IN DESIGN FROM THE APPROVED SITE PLAN SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF ANKENY.
20. STOP SIGNS AT INTERSECTIONS WITH PUBLIC STREETS SHALL BE INSTALLED PRIOR TO ANY T.C.O. OR C.O. BEING ISSUED.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
8. THE DEVELOPER IS RESPONSIBLE FOR STOP SIGN R1-1 (30") INSTALLATION AND MAINTENANCE FOR STOPPING PRIVATE STREET TRAFFIC AT INTERSECTIONS WITH PUBLIC STREETS. ANY STREET NAME SIGNS IF DESIRED SHALL ALSO BE THE RESPONSIBILITY OF THE DEVELOPER.
9. THE DEVELOPER IS RESPONSIBLE FOR "ROAD ENDS" SIGNAGE INSTALLATION AND MAINTENANCE.

PAVEMENT THICKNESS

1.	SIDEWALK/PATIOS	= 4" PCC
2.	SIDEWALK RAMPS	= 6" PCC
3.	PARKING SPACES	= 6" PCC
4.	DRIVE AISLES	= 7" PCC
5.	DUMPSTER ENCLOSURE & FRONT 20'	= 8" PCC
6.	PAVEMENT APPROACH WITHIN R.O.W.	= 8" PCC

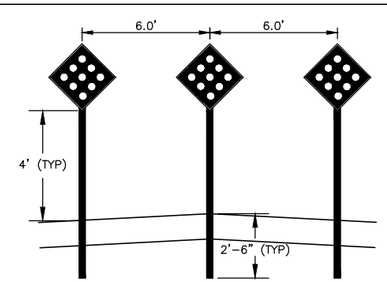
CITY OF ANKENY NOTE

TEMPORARY CERTIFICATES OF OCCUPANCY CANNOT BE ISSUED UNTIL THE NE FOUR MILE DR PUBLIC IMPROVEMENTS ARE COMPLETED.

SIGN LEGEND

R1-1* 1 | R7-8 2 | R7-8a 3

*STOP SIGNS ARE TO BE 36" AT INTERSECTIONS WITH PUBLIC STREETS AND 30" AT PRIVATE STREET INTERSECTIONS.



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4

GENERAL NOTES

1. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

   THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
   A. CITY OF ANKENY
   B. APPROPRIATE UTILITY COMPANIES
   C. OWNER
   D. CIVIL DESIGN ADVANTAGE
3. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
5. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
6. THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY.
7. SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
8. TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.
9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
10. PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT.
11. THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND COMPLY WITH OSHA STANDARDS. NOTHING WITHIN THESE PLANS SHALL RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.
12. CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTIFY MIKE BROONER (369-4400) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE REQUIRED.
13. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN.
14. IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. ALL TRAFFIC CONTROL SHALL COMPLY WITH MUTCD AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
16. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
17. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
18. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
19. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS INCLUDING LOCATION, TYPE OF TILE, & TILE ELEVATION.
20. PRIOR TO ANY WORK AT THIS SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
21. CONTRACTOR SHALL COMPLY WITH ALL P.R.O.W.A.G./A.D.A. REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS.
22. CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
23. ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
24. THE INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN THE SIZE OF IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
25. PROPOSED PUBLIC IMPROVEMENT LAYOUTS SHOWN ARE PRELIMINARY AND SUBJECT TO MODIFICATION WITH THE SUBMITTAL OF PUBLIC IMPROVEMENT CONSTRUCTION DRAWINGS.

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
NOTES

DATE: 09/12/2025

SHEET NUMBER: C1.2

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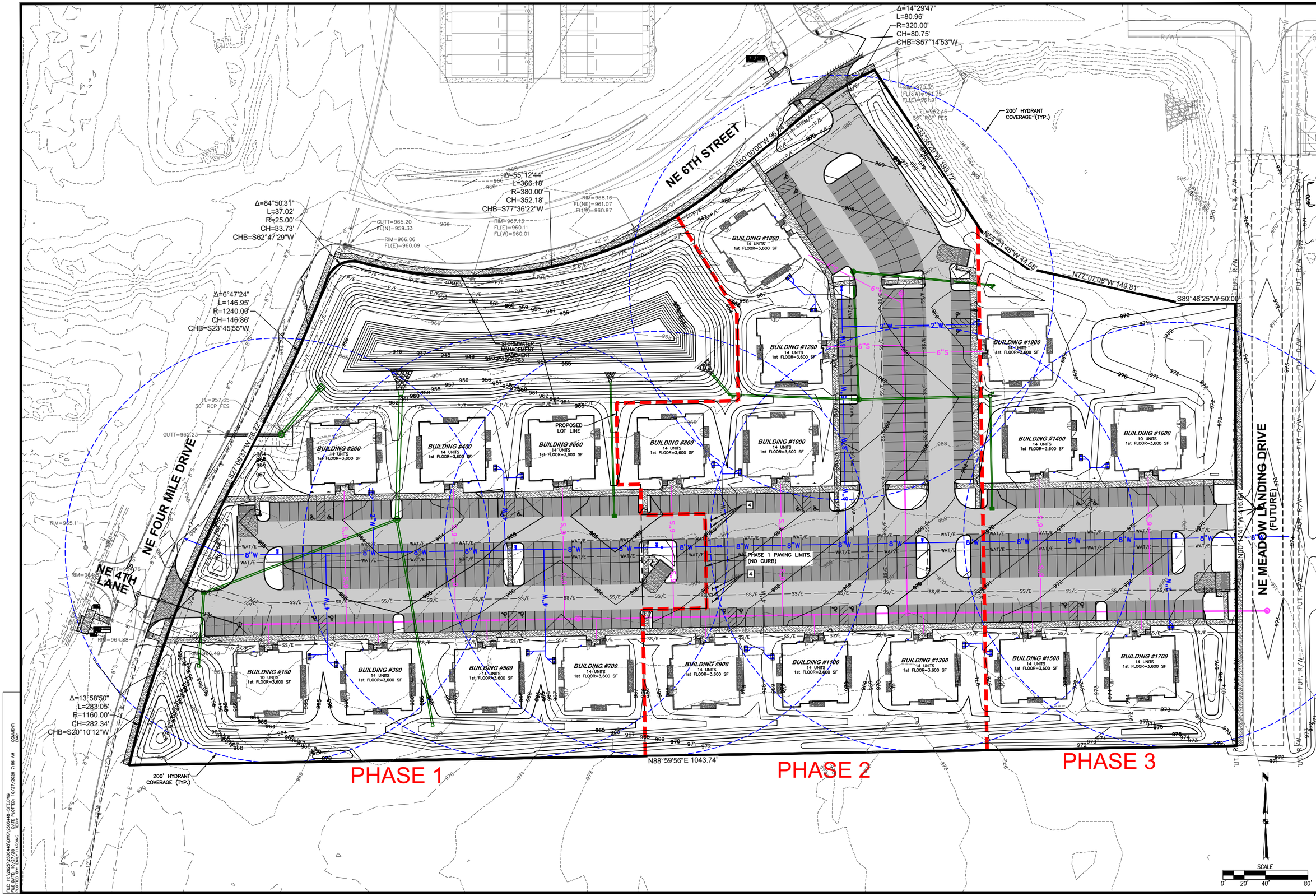

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
REFERENCE PLAN

DATE: 09/12/2025

SHEET NUMBER: C2.1

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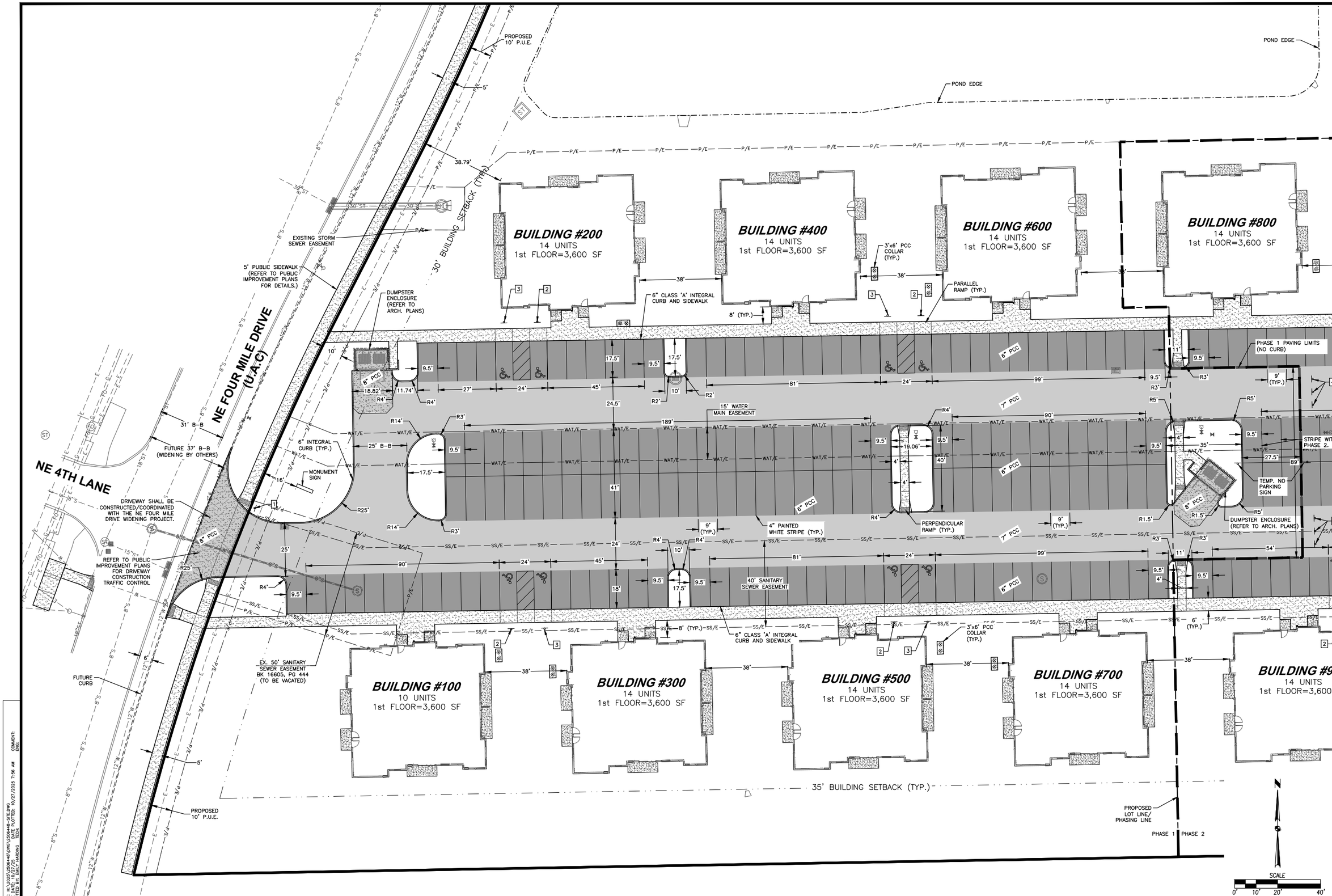

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THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DRAFTED:

ENGINEER:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
DIMENSION PLAN

DATE:
09/12/2025

SHEET NUMBER:
C3.1
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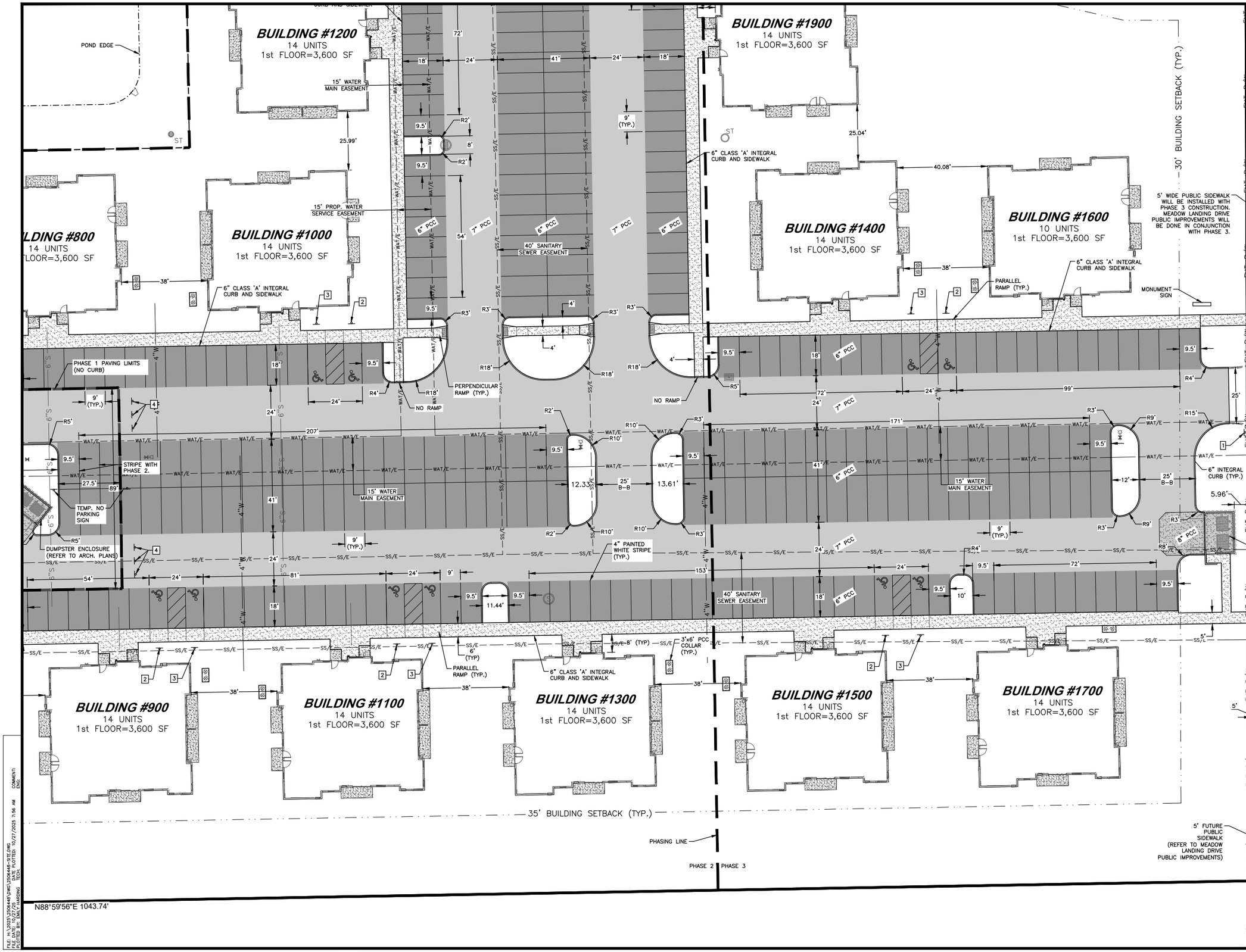

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FIRST SUBMITTAL	09/17/2025

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URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:
DRAFTED:

CIVIL DESIGN ADVANTAGE

DEER CREEK RESERVE
DIMENSION PLAN

ANKENY, IOWA

DATE: 09/12/2025

SHEET NUMBER: C3.2

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SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DRAFTED:

ENGINEER:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
DIMENSION PLAN

DATE: 09/12/2025

SHEET NUMBER: C3.3

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NOTE

1. REFER TO SHEETS C4.5–C4.6 FOR SIDEWALK GRADING DETAILS.

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE

DEER CREEK RESERVE
GRADING PLAN

ANKENY, IOWA

DATE: 09/12/2025

SHEET NUMBER: C4.1

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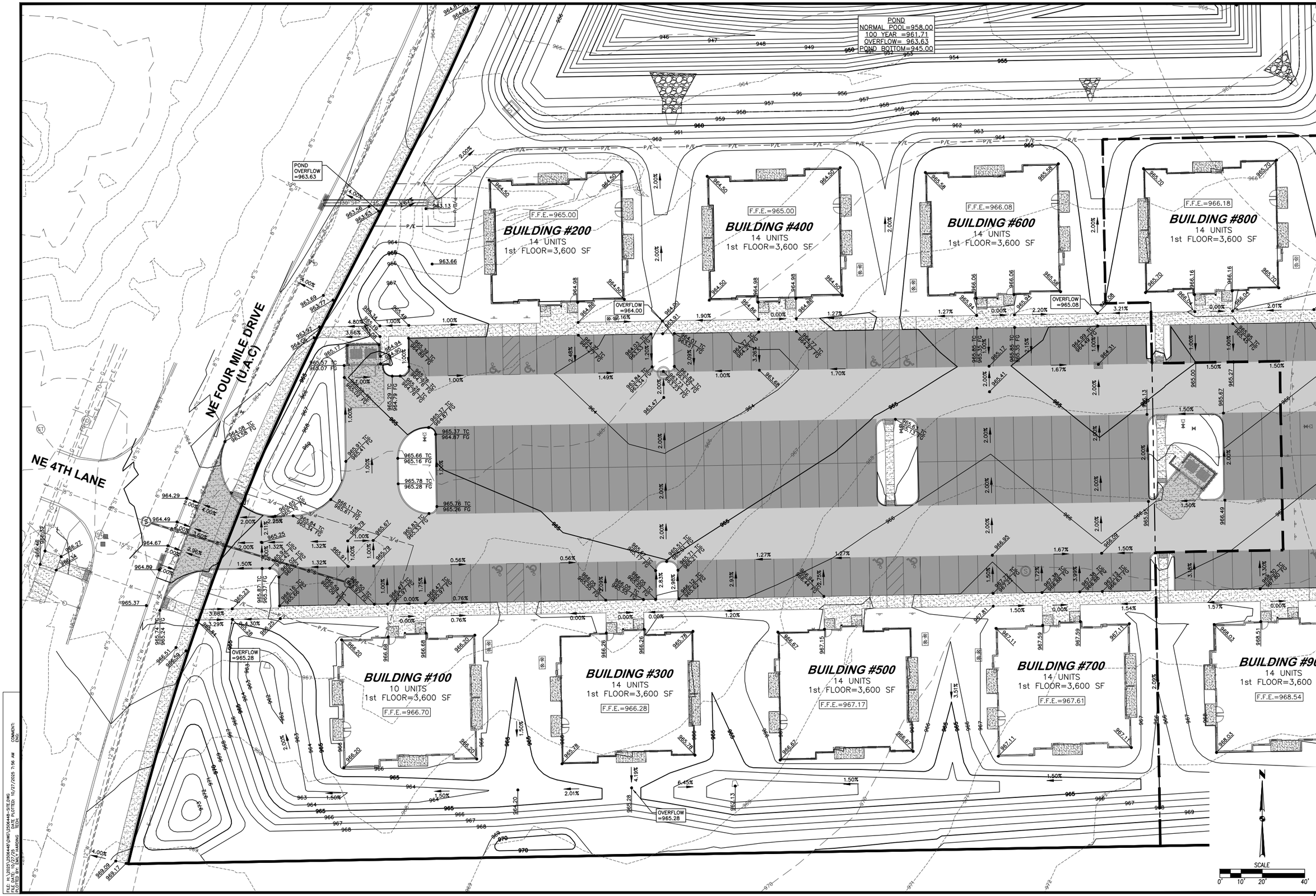

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URBANDALE, IA 50322
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ENGINEER:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
GRADING PLAN

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GRADING PLAN

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THIRD SUBMITTAL	10/24/2025
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FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:

DRAFTED:

CIVIL DESIGN ADVANTAGE

ANKENY, IOWA

DEER CREEK RESERVE
GRADING PLAN

DATE:
09/12/2025

SHEET NUMBER:
C4.4
2506.448

FILE: J:\2025\2506448\DWG\2506448-SITE.DWG
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PLOTTED BY: EMILY HARDING TECH:
COMMENT:
ENG:

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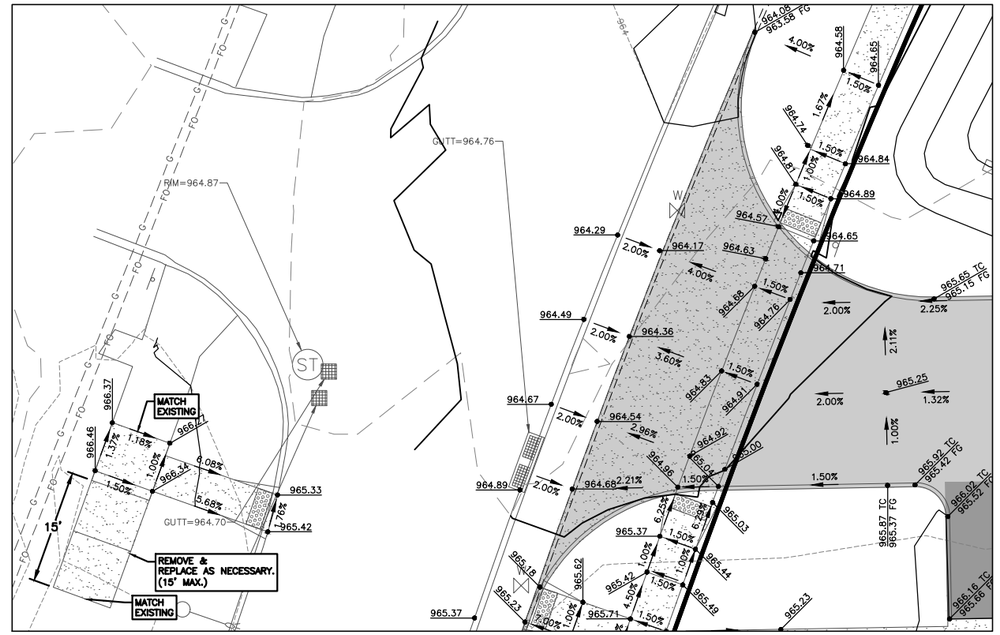

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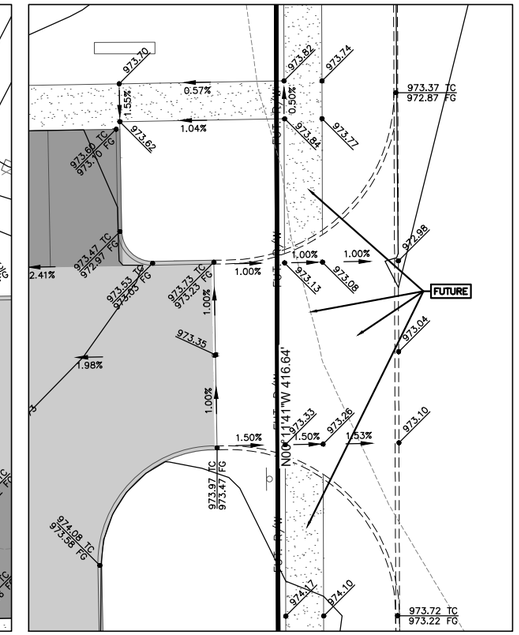

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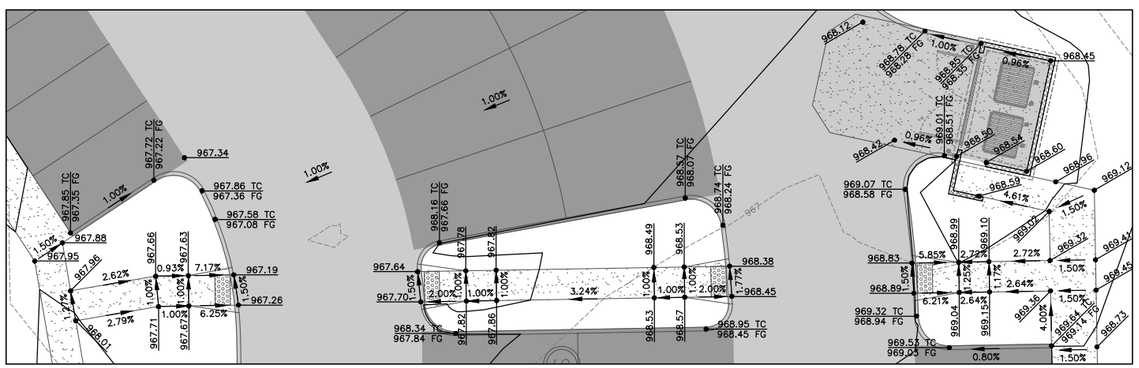

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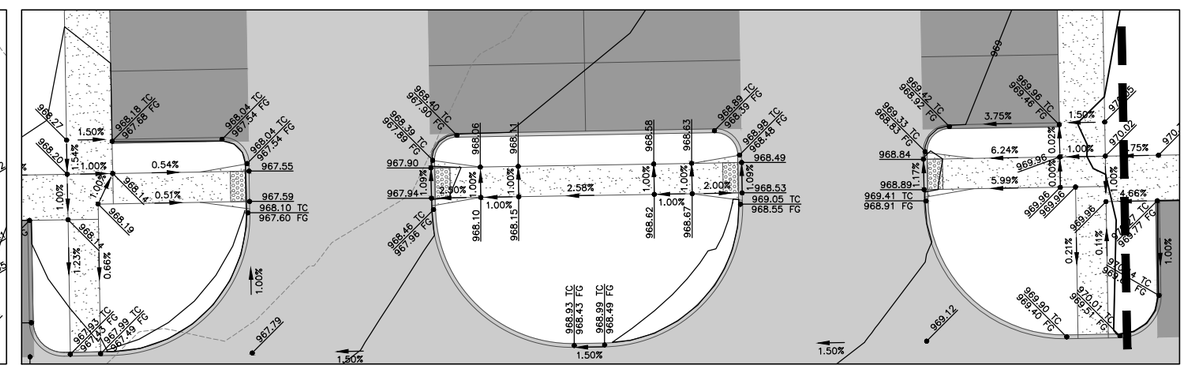

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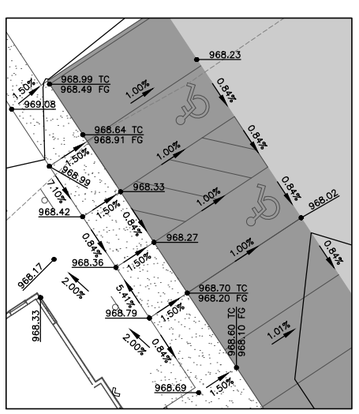

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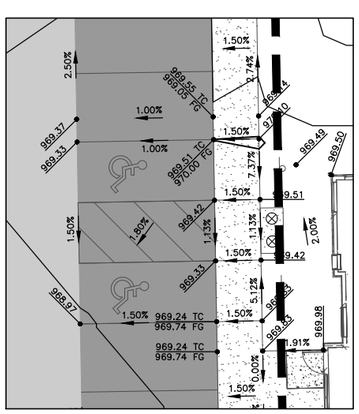

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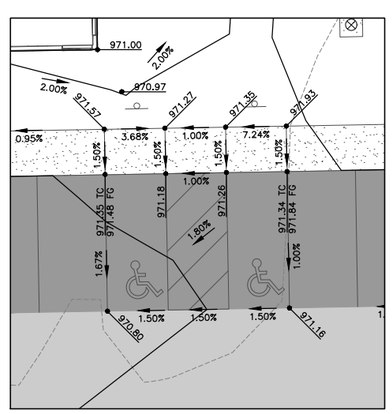

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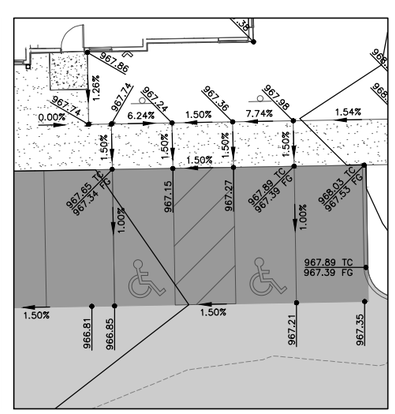

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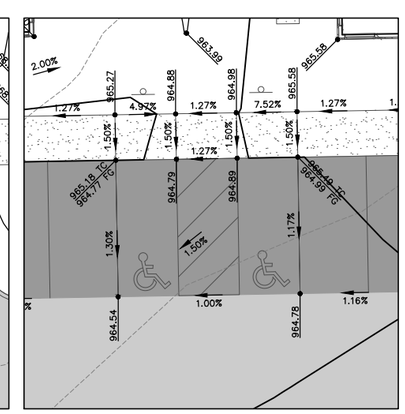

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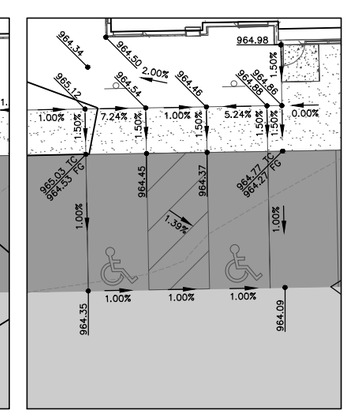

DETAIL 'K'

SCALE 0' 5' 10' 20'

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DRAFTED:

ENGINEER:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
GRADING PLAN

DATE: 09/12/2025

SHEET NUMBER: C4.5

2506.448

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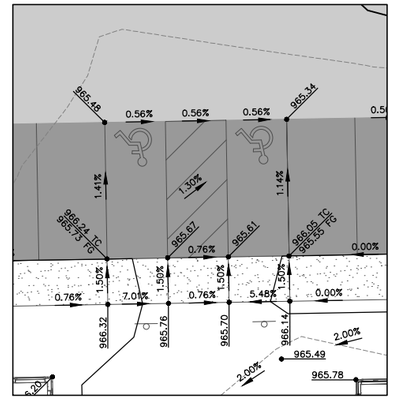
PLOTTED BY: EMILY HARDING TECH:



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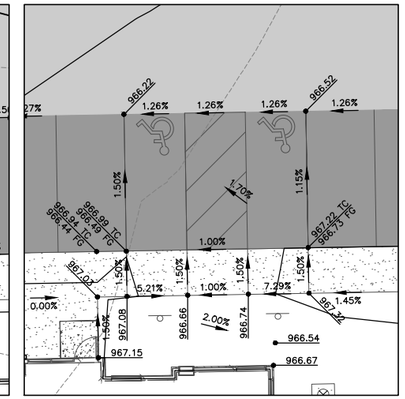

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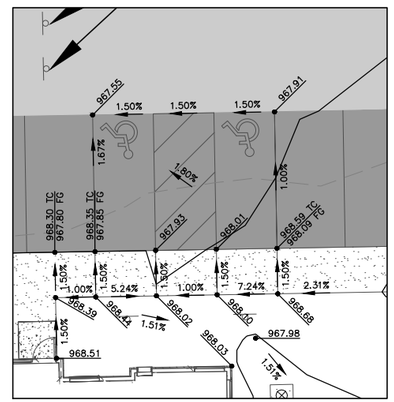

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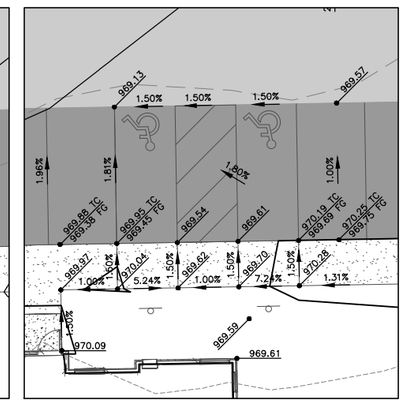

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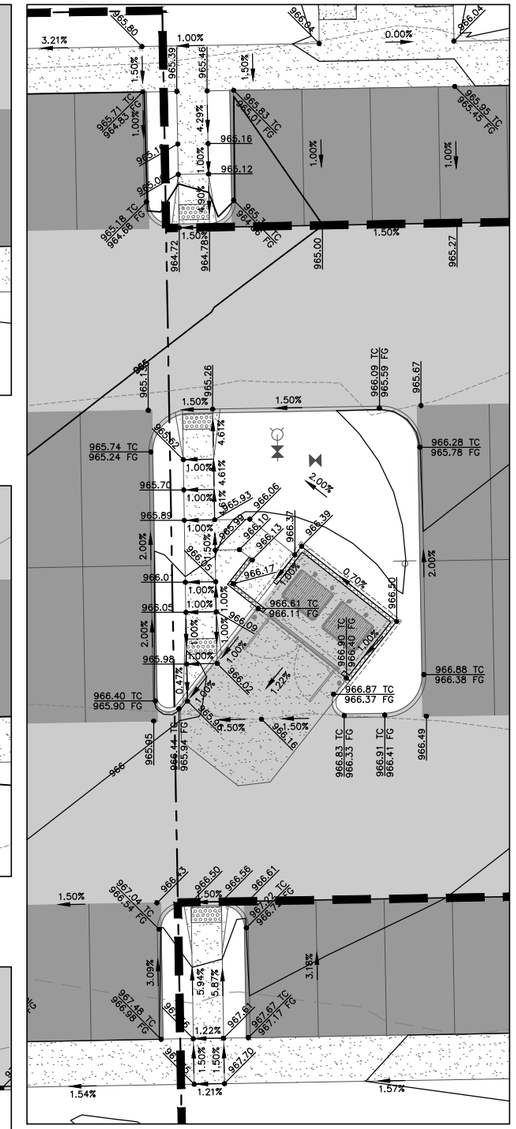

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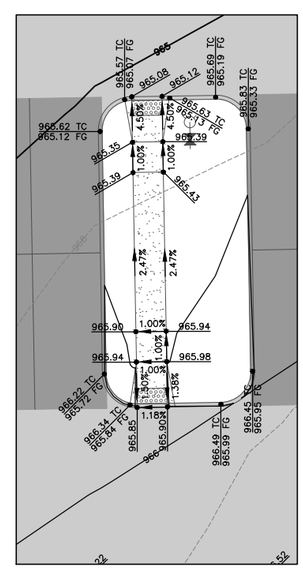

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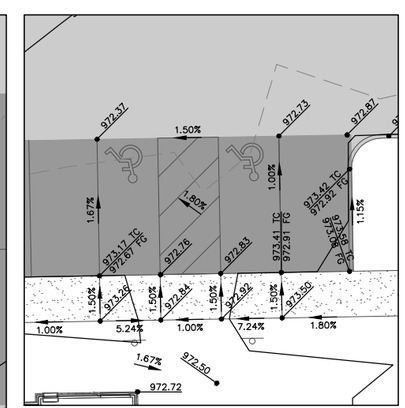

DETAIL 'R'

N

SCALE

0' 5' 10' 20'

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE

ANKENY, IOWA

DEER CREEK RESERVE
GRADING PLAN

DATE: 09/12/2025

SHEET NUMBER: C4.6

2506.448

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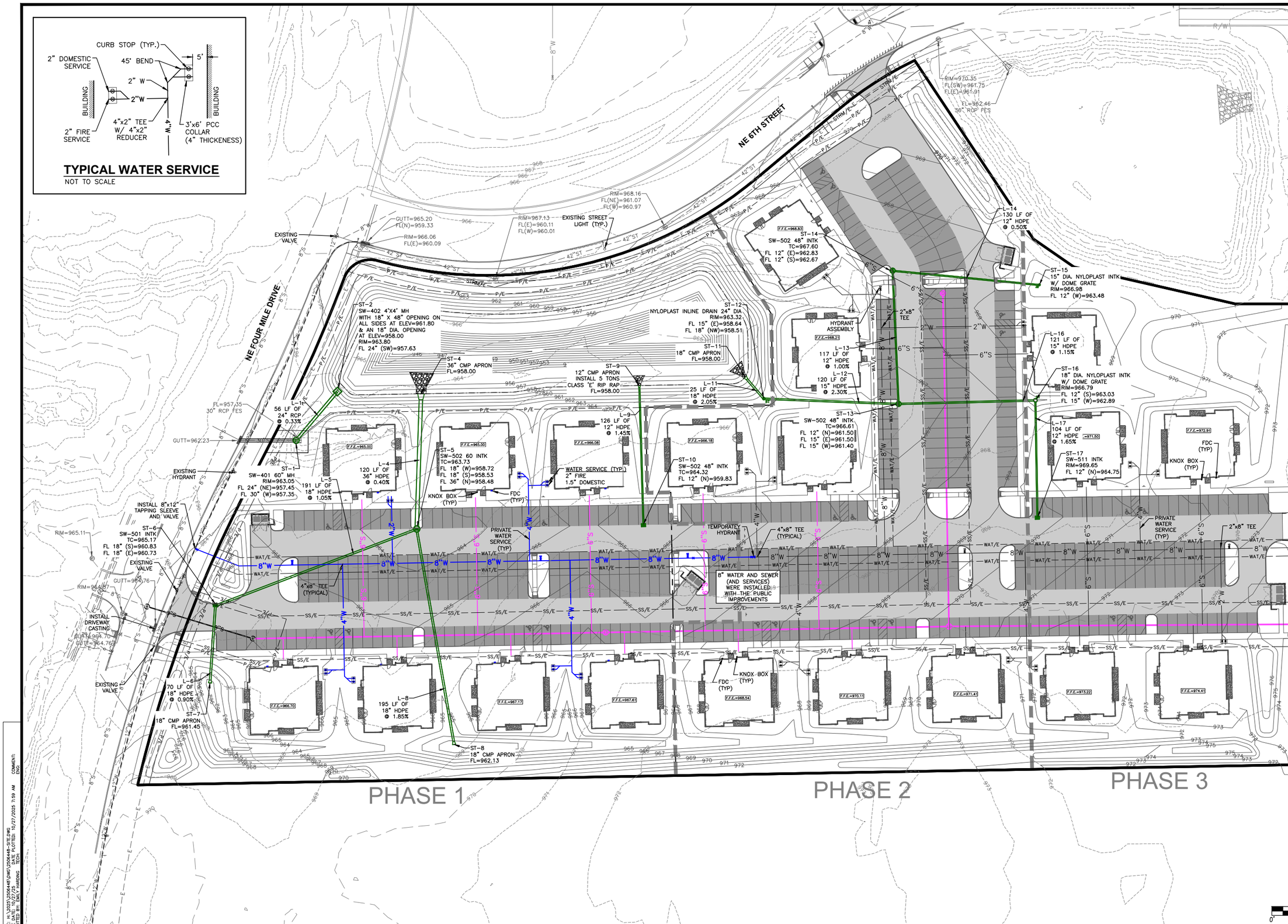

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
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FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
UTILITY PLAN

DATE: 09/12/2025
SHEET NUMBER: C6.1
2506.448

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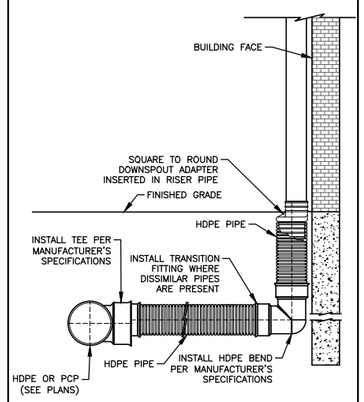

ROOF DRAIN CONNECTION

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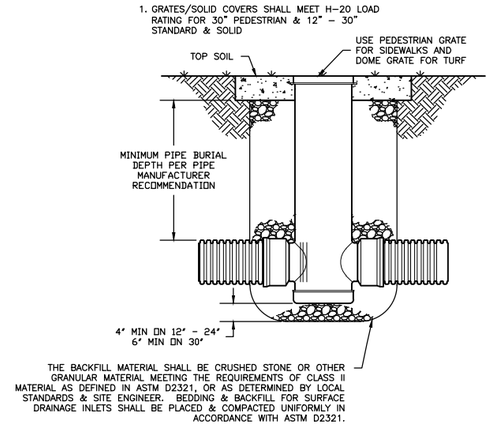
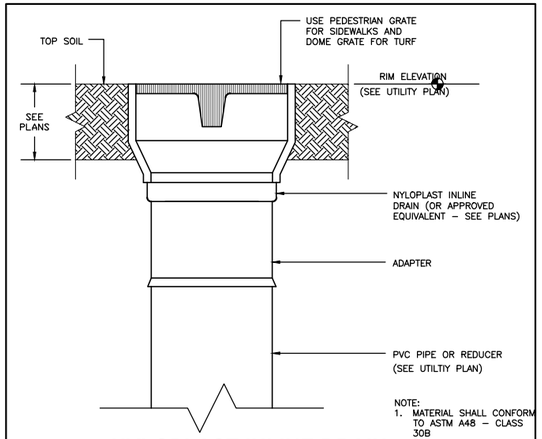


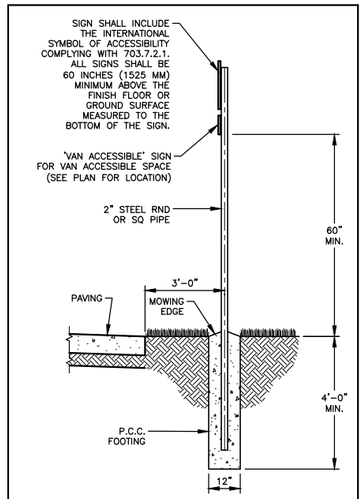
NYLOPLAST INTAKE

NOT TO SCALE



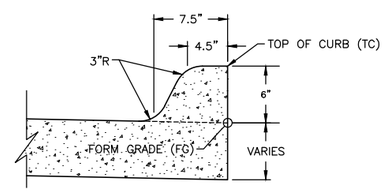
NYLOPLAST INLINE DRAIN

NOT TO SCALE



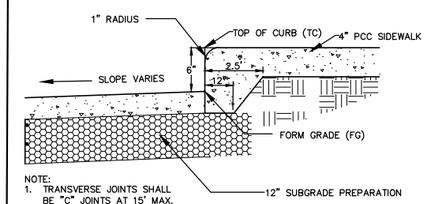
ACCESSIBLE PARKING SIGN

NOT TO SCALE



6" PCC INTEGRAL CURB

NOT TO SCALE



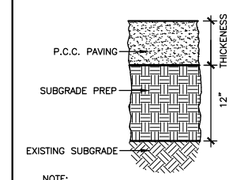
NOTE:
1. TRANSVERSE JOINTS SHALL BE "C" JOINTS AT 15' MAX. SPACING.
2. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-1 OR KT-1.

6" CLASS 'A' INTEGRAL CURB AND SIDEWALK

NOT TO SCALE

PAVEMENT THICKNESS

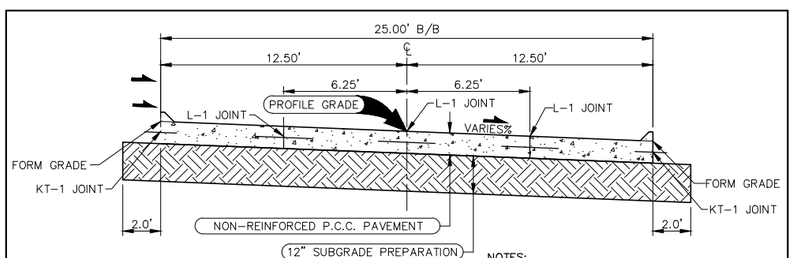
1. SIDEWALK/PATIOS = 4" PCC
2. SIDEWALK RAMPS = 6" PCC
3. PARKING SPACES = 6" PCC
4. DRIVE AISLES = 7" PCC
5. DUMPSTER ENCLOSURE = 8" PCC



NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 – 6" LIFTS.

PCC PAVEMENT

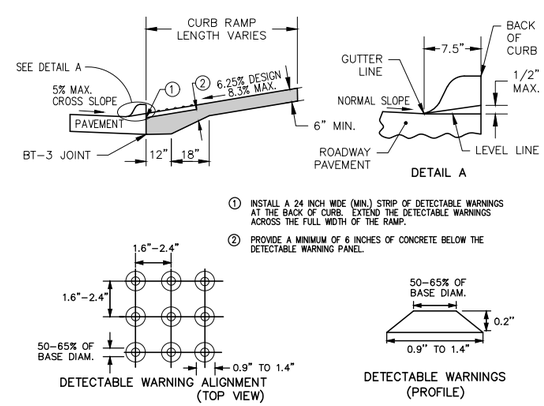
NOT TO SCALE



NOTES:
1. PREPARE SUBGRADE IN 2–6" LIFTS.
2. TYPICAL C JOINT SPACING IS 15'.

TYPICAL SECTION - PRIVATE 25' B/B P.C.C. ROADWAY

NOT TO SCALE

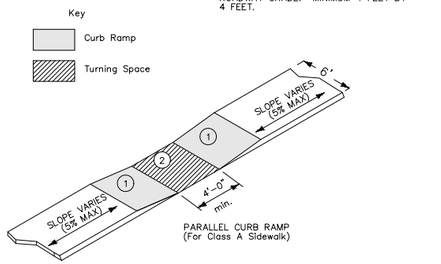


1. INSTALL A 24 INCH WIDE (MIN.) STRIP OF DETECTABLE WARNINGS AT THE BACK OF CURB. EXTEND THE DETECTABLE WARNINGS ACROSS THE FULL WIDTH OF THE RAMP.
2. PROVIDE A MINIMUM OF 6 INCHES OF CONCRETE BELOW THE DETECTABLE WARNING PANEL.

DETECTABLE WARNING STRIP DETAIL

NOT TO SCALE

1. PARALLEL CURB RAMP: TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMPS SHORTER THAN 15 FEET.
2. TURNING SPACE: TARGET SLOPE OF 1.5% WITH A MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0% AT MID-BLOCK CROSSINGS. CROSS SLOPE OF LANDING MAY EXCEED 2.0% TO MATCH ROADWAY GRADE. MINIMUM 4 FEET BY 4 FEET.



PARALLEL CURB RAMP

NOT TO SCALE

REVISIONS	DATE
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4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DRAFTED:

ENGINEER:

CIVIL DESIGN ADVANTAGE

DEER CREEK RESERVE

DETAILS

ANKENY, IOWA

DATE: 09/12/2025

SHEET NUMBER: C7.1

2506.448

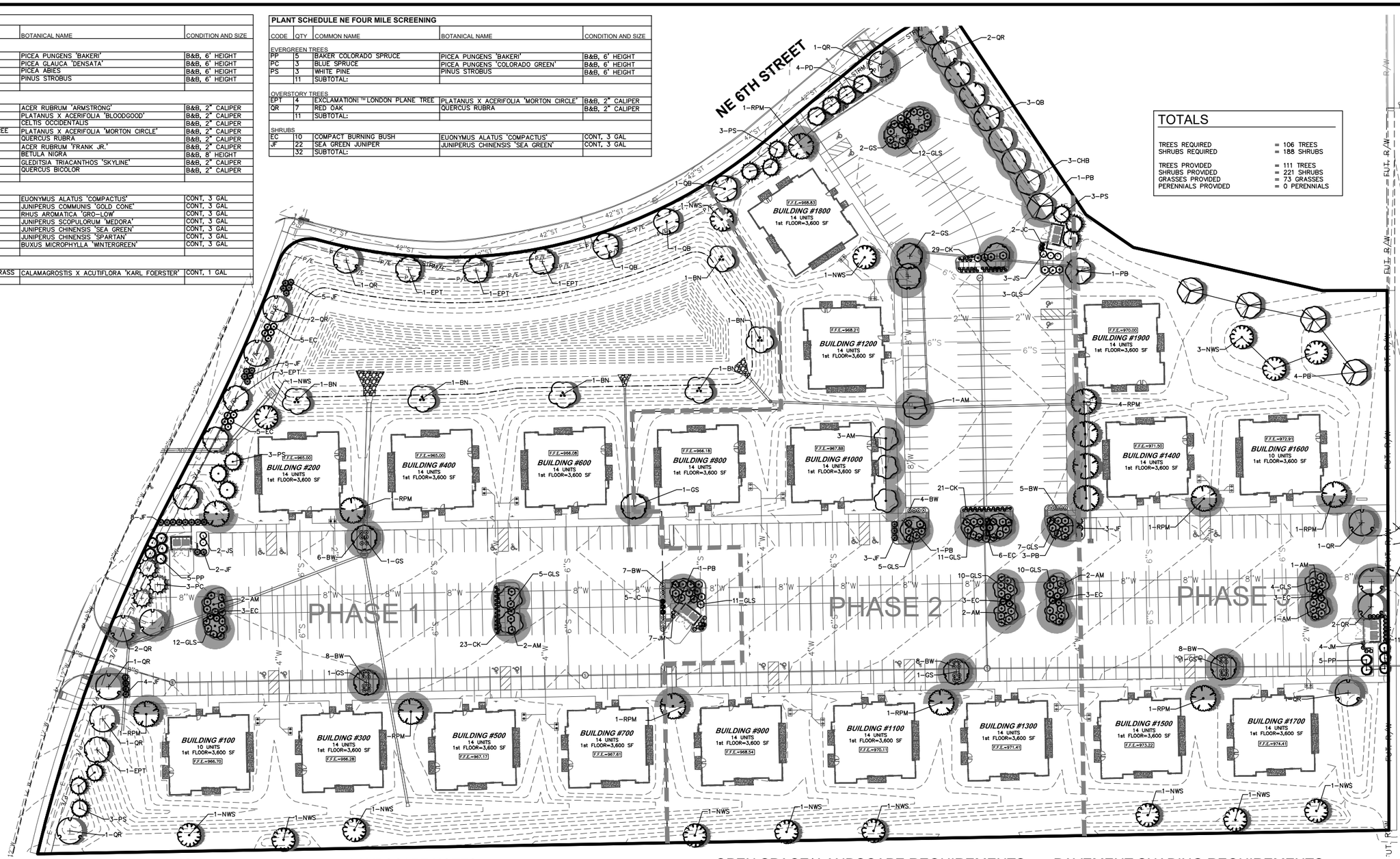
FILE: H:\2020\2506448\DWG\2506448-SITE.DWG
PLOTTED: 10/27/2025 7:59 AM LAYOUT: C7.1 COMMENT:
PLOTTED BY: EMILY HARDING TECH: ENG:

PLANT SCHEDULE OPEN SPACE

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PP	5	BAKER COLORADO SPRUCE	PICEA PUNGENS 'BAKERI'	B&B, 6' HEIGHT
PD	4	BLACK HILLS WHITE SPRUCE	PICEA GLAUCA 'DENSATA'	B&B, 6' HEIGHT
NWS	15	NORWAY SPRUCE	PICEA ABIES	B&B, 6' HEIGHT
PS	9	WHITE PINE	PINUS STROBUS	B&B, 6' HEIGHT
	33	SUBTOTAL:		
OVERSTORY TREES				
AM	14	ARMSTRONG RED MAPLE	ACER RUBRUM 'ARMSTRONG'	B&B, 2" CALIPER
PB	11	BLOODGOOD LONDON PLANE TREE	PLATANUS X ACERIFOLIA 'BLOODGOOD'	B&B, 2" CALIPER
CHB	3	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B&B, 2" CALIPER
EPT	3	EXCLAMATION! ™ LONDON PLANE TREE	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	B&B, 2" CALIPER
QR	8	RED OAK	QUERCUS RUBRA	B&B, 2" CALIPER
RPM	14	REDPOINTE®MAPLE	ACER RUBRUM 'FRANK JR.'	B&B, 2" CALIPER
BN	6	RIVER BIRCH MULTI-TRUNK	BETULA NIGRA	B&B, 8' HEIGHT
GS	10	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B, 2" CALIPER
QB	6	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 2" CALIPER
	75	SUBTOTAL:		
SHRUBS				
EC	25	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	CONT, 3 GAL
JC	7	GOLD CONE COMMON JUNIPER	JUNIPERUS COMMUNIS 'GOLD CONE'	CONT, 3 GAL
GLS	99	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	CONT, 3 GAL
JM	22	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	CONT, 3 GAL
JF	8	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	CONT, 3 GAL
JS	5	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	CONT, 3 GAL
BW	46	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA 'WINTERGREEN'	CONT, 3 GAL
	212	SUBTOTAL:		
GRASSES				
CK	73	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	CONT, 1 GAL
	73	SUBTOTAL:		

PLANT SCHEDULE NE FOUR MILE SCREENING

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PP	5	BAKER COLORADO SPRUCE	PICEA PUNGENS 'BAKERI'	B&B, 6' HEIGHT
PC	3	BLUE SPRUCE	PICEA PUNGENS 'COLORADO GREEN'	B&B, 6' HEIGHT
PS	3	WHITE PINE	PINUS STROBUS	B&B, 6' HEIGHT
	11	SUBTOTAL:		
OVERSTORY TREES				
EPT	4	EXCLAMATION! ™ LONDON PLANE TREE	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	B&B, 2" CALIPER
QR	7	RED OAK	QUERCUS RUBRA	B&B, 2" CALIPER
	11	SUBTOTAL:		
SHRUBS				
EC	10	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	CONT, 3 GAL
JF	22	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	CONT, 3 GAL
	32	SUBTOTAL:		



TOTALS

TREES REQUIRED	= 106 TREES
SHRUBS REQUIRED	= 188 SHRUBS
TREES PROVIDED	= 111 TREES
SHRUBS PROVIDED	= 221 SHRUBS
GRASSES PROVIDED	= 73 GRASSES
PERENNIALS PROVIDED	= 0 PERENNIALS

SEEDBED PREPARATION

SUDAS SECTION 7E-24 – PERMANENT SEEDING

TOPSOIL:
IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 6 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING. DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL. THESE BENEFITS WILL INCREASE THE DROUGHT TOLERANCE AND LONG-TERM HEALTH OF THE VEGETATION. WHERE SUFFICIENT TOPSOIL IS NOT AVAILABLE, COMPOSTED MATERIAL MAY BE INCORPORATED AT THE RATE OF 1 INCH OF COMPOST FOR EVERY 3 INCHES OF DEFICIENT TOPSOIL. THIS WILL INCREASE THE ORGANIC MATTER CONTENT OF THE SOIL, AND PROVIDE AN ADEQUATE GROWING MEDIUM FOR VEGETATION.

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

OPEN SPACE/ LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIREMENTS

SITE AREA	= 469,889 SF
OPEN SPACE REQUIRED (20%)	= 93,979 SF (20%)
OPEN SPACE PROVIDED	= SEE COVER SHEET

OPEN SPACE PLANTING REQUIREMENTS
(2 TREES & 6 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE)

REQUIRED	
TREES	= 64 TREES
SHRUBS	= 188 SHRUBS
PROVIDED	
TREES	= 64 TREES
SHRUBS	= 212 SHRUBS

SCREENING
NE FOUR MILE DRIVE (515 LF:
2 OVERSTORY TREES, 2 ORNAMENTAL TREES AND 6 SHRUBS PER 100 LF

REQUIRED	
OVERSTORY TREES	11
ORNAMENTAL TREES	11
SHRUBS	31
PROVIDED	
OVERSTORY TREES	11
ORNAMENTAL/EVERGREEN TREES	11
SHRUBS	32

PAVEMENT SHADING REQUIREMENTS

20% OF PAVEMENT MUST BE SHADED

VEHICLE PAVEMENT	=151,721 SF
REQUIRED	= 30,344 SF (20%)
30,344 SF/ 706 (30' DIA. TREE)	= 43 TREES
TREES PROVIDED	= 43 TREES

SHADING LEGEND

26 — ENTIRE TREE COUNTS TOWARDS REQUIREMENT (TREES WITHIN ISLANDS)

35 — HALF TREE COUNTS TOWARDS REQUIREMENT (TREES ON EXTERIOR OF PAVEMENT, OTHER HALF COUNTS TOWARDS OPEN SPACE REQUIREMENTS)

TOTAL PAVEMENT SHADE TREES = 43

N

SCALE
0' 20' 40' 80'

REVISIONS	DATE
THIRD SUBMITTAL	10/24/2025
SECOND SUBMITTAL	10/10/2025
FIRST SUBMITTAL	09/17/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE
ANKENY, IOWA

DEER CREEK RESERVE
LANDSCAPE PLAN

DATE: 09/12/2025

SHEET NUMBER: L1.1

2506.448

FILE: J:\2023\2506448\DWG\2506448-L1-SHEETS LANDSCAPE.DWG
PLOTTED BY: EMILY HARSING LAST SAVED: 10/27/2025 7:59 AM
PLOTTED: 10/27/2025 7:59 AM
TECH:
ENG:
COMMENT:

ABBREVIATIONS:

A	A.B.	ANCHOR BOLT
	A/C.	AIR COND.
	A.H.U.	AIR HAND. UNIT
	ACT.	ACOUST. TILE
	ADJ.	ADJUSTABLE
	AFF.	ABOVE FIN. FL.
	ALUM.	ALUMINUM
	ALT.	ALTERNATE
	ANC.	ANCHOR
	ATC.	ACI. CEILING
	APC.	ACOUST. PANEL CEILING
B	B.M.	BENCH MARK
	B.N.	BULL NOSE
	BD.	BOARD
	BIT.	BITUMINOUS
	BLDG.	BUILDING
	BLK.	BLOCK
	BLKG.	BLOCKING
	BM.	BEAM
	BOT.	BOTTOM
	BRG.	BEARING
	B.T.	BATH TUB
C	C.J.	CONTROL JOINT
	C.T.	CERAMIC TILE
	CAB.	CABINET
	CH. BD.	CHALK BOARD
	CIR.	CIRCULAR
	CLG.	CEILING
	CLR.	CLEAR
	CMU	CONC. MAS. UNIT
	COL.	COLUMN
	COMP.	COMPARTMENT
	CONC.	CONCRETE
	CONSTR.	CONSTRUCTION
	CONT.	CONTINUOUS
	CONTR.	CONTRACTOR
	CORR.	CORRUGATED
	CPT.	CARPET
	CU.	COPPER
D	D.	DEPTH
	D.F.	DRINK. FOUNT.
	D.T.	DOUBLE TEE
	DBL.	DOUBLE
	DET.	DETAIL
	DIA.	DIAMETER
	DIM.	DIMENSION
	DISP.	DISPENSER
	DN.	DOWN
	DR.	DOOR
	DS.	DOWNSPOUT
	DW.	DISHWASHER
	DWL.	DOWEL
	DWG.	DRAWING
	DWR.	DRAWER
E	E.J.	EXP. JOINT
	E.C.	ELEC. CONTR.
	E.W.C.	ELEC. WATER COOLER
	E.W.	EACH WAY
	EA.	EACH
	EL.	ELEVATION
	ELEC.	ELECTRICAL
	ELEV.	ELEVATOR
	EQ.	EQUAL
	EQPT.	EQUIPTMENT
	EXP.	EXPANSION
	EXPO.	EXPOSED
	EXST.	EXISTING
	EXT.	EXTERIOR
F	F.D.	FLOOR DRAIN
	F.E.	FIRE EXTING.
	F.E.C.	FIRE EXT. CAB.
	F.O.F.	FACE OF FIN.
	FDN.	FOUNDATION
	FIN.	FINISH
	FL.	FLOOR
	FLASH.	FLASHING
	FR.	FRAME
	FT.	FOOT OR FEET
	FTG.	FOOTING
	FURR.	FURRING
G	G.B.	GRAB BAR
	G.C.	GEN. CONTR.
	GA.	GAUGE
	GALV.	GALVANIZED
	GL.	GLASS
	GR.	GRADE
	GWB	GYP. WALLBD.
	GWC.	GLAZED WALL COATING
H	H.	HEIGHT
	H.C.	HOLLOW CORE
	H.M.	HOLLOW METAL
	HDCPD.	HANDICAPPED
	HORIZ.	HORIZONTAL
	HT.	HEIGHT
	HTG.	HEATING
	HVAC.	HEAT/VENT/AC
I	I.D.	INSIDE DIAM.(DIM.)
	INSUL.	INSULATION
	INT.	INTERIOR
J	JB.	JUNCTION BOX
	JST.	JOIST
	JT.	JOINT
L	LAM.	LAMINATE
	LAV.	LAVATORY
	LTG.	LIGHTING
	LWCMU.	LIGHTWEIGHT CONCRETE MASONRY UNIT
M	M.C.	MECH. CONTR.
	M.O.	MASONRY OPENING
	MAX.	MAXIMUM
	MECH.	MECHANICAL
	MED.C.	MEDICINE CAB.
	MET.	METAL
	MFR.	MANUFACTURER
	MIN.	MINIMUM
	MISC.	MISCELLANEOUS
	MTD.	MOUNTED
	MUL.	MULLION
N	N.E.C.	NAT. ELEC. CODE
	N.I.C.	NOT IN CONTRACT
	N.T.S.	NOT TO SCALE
	NO.	NUMBER
	NOM.	NOMINAL
O	O.C.	ON CENTER
	O.D.	OUTSIDE DIA. (DIM.)
	O.F.	OUTSIDE FACE
	OH.	OVERHEAD
P	P.LAM.	PLASTIC LAM.
	P.L.	PROPERTY LINE
	P.S.F.	LBS. PER SQ. FT.
	P.S.I.	LBS. PER SQ. IN.
	P.T.D.	PAPER TWL. DISP.
	PART.BD.	PARTICLE BOARD
	PL.	PLATE
	PLAS.	PLASTER
	PWD.	PLYWOOD
	PT.	PAINT
Q	Q.T.	QUARRY TILE
R	R.	RISER
	R.D.	ROOF DRAIN
	R.O.	ROUGH OPENING
	R.V.	ROOF VENT
	RAD.	RADIUS
	REC.	RECEPTICAL
	REF.	REFRIGERATOR
	REFL.	REFLECTED
	REINF.	REINFORCED
	REM.	REMOVABLE
	REQ.	REQUIRED
	RESIL.	RESILIENT
	RM.	ROOM
S	S.B.	SPLASH BLOCK
	S.C.	SOLID CORE
	S.D.	SOAP DISPENSER
	S/S	STAINLESS STEEL
	SCHED.	SCHEDULE
	SECT.	SECTION
	SHR.	SHOWER
	SHT.	SHEET
	SHT.V.	SHEET VINYL
	SHTG.	SHEATHING
	SIM.	SIMILAR
	SPEC.	SPECIFICATION
	SQ.	SQUARE
	STD.	STANDARD
	STL.	STEEL
	STR.	STRUCTURAL
	SUSP.	SUSPENDED
	SW.	SWITCH
	SYM.	SYMETRICAL
T	T.	THICK (THICKNESS)
	T.B.	TOWEL BAR
	T.BD.	SOAP DISPENSER
	T.O.C.	STAINLESS STEEL
	T.O.F.	TOP OF FOOTING
	T.O.S.	TOP OF STEEL
	T & G	TONGUE AND GRVE.
	T.P.D.	TOILET PAPER DISP.
	T.V.	TELEVISION
	TEL.	TELEPHONE
	TER.	TERRAZZO
	TYP.	TYPICAL
U	UNF.	UNFINISHED
	UR.	URINAL
V	V.	VOLT
	V.B.	VAPOR BARRIER
	VI.	VINYL
	V.W.C.	VI. WALL COVERING
	V.C.T.	VI. COMP. TILE
	VERT.	VERTICAL
	V.S.G.B.	VI. SURF. GYP. BD.
W	W.	WATT
	W/.	WITH
	W.C.	WATER CLOSET
	WO.	WITHOUT
	WD.	WOOD
	WDTH.	WIDTH
	WH.	WALL HUNG
	WP.	WATERPROOF
	WSCT.	WAINSCOT
	WS.	WATER SOFTENER
	WT.	WEIGHT

MATERIALS SYMBOLS

This is a standard list. Not all materials are used in the project.

STONE — CUT STONE

EARTH, etc. — EARTH; GRAVEL OR FILL

METALS — METAL; METAL STUD

MISC. — GLASS; GYPSUM BOARD

CONCRETE — POURED CONCRETE; PRECAST; LIGHT WT. CONCRETE

INSULATION — BATT OR LOOSE FILL; RIGID; ACOUSTICAL TILE

MASONRY — BRICK; LW CMU PARTITION; STRUCTURAL GLAZED TILE; CMU

WOOD — FINISH; BLOCKING; PLYWOOD; WOOD STUD PARTITION

DETAIL INDICATION

- BUILDING SECTION / PLAN REFERENCE (SECTION NO. / SHEET NO.)
- DETAIL PLAN REFERENCE (DETAIL NO. / SHEET NO.)
- ELEVATION / PLAN REFERENCE (ELEVATION LETTER & ARROWS AS REQUIRED / SHEET NO.)
- DOOR NUMBER (D1 3'-0")
- KEYED NOTE
- REVISION NUMBER
- EXISTING CONTOURS
- NEW CONTOURS
- ELEVATIONS (FIN. FL. 98')
- TEST BORING (TB-1)
- NEW SPOT ELEVATION (98')
- EXISTING SPOT ELEVATION (98')
- ROOM NUMBER (BDRM. 1)
- WINDOW REF. (A WINDOW NO.)
- EQUIPMENT NUMBER (101)
- REFERENCE GRID (A 1)

VELDCO

MAILBOX MONEY

Deer Creek
Building 14A West

Ankeny, IA

VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Sioux Falls, S.D. 605•339•4411

PRELIMINARY
NOT FOR CONSTRUCTION

CIVIL ENGINEER:

N.I.C.

STRUCTURAL ENGINEER:

RISE
STRUCTURAL ASSOCIATES INC.
6909 S. Lyncrest Place - Suite 110
Sioux Falls, SD 57108
(605)743-2510

MECHANICAL ENGINEER:

N.I.C.

ELECTRICAL ENGINEER:

N.I.C.

Architectural

A0.1	Code Analysis-Bldg 14A
A2.0	1st & 2nd Floor Plans-Bldg 14A
A2.1	3rd Floor Plan & Roof Plan-Bldg 14A
A2.2	Enlarged Stair Plans
A2.4	Unit Type 'B' Plans
A2.5	Unit Type 'B-2' Plans
A2.6	Unit Type 'C' Plans
A2.7	Unit Type 'D' Plans
A2.12	Unit Type 'I' Plans
A2.13	Unit Type 'J' Plans
A2.14	Unit Type 'K' Plans
A2.15	Unit Type 'L' Plans
A2.16	Unit Type 'M' Plans
A2.19	Wall, Floor & Roof Types
A3.0	Exterior Elevations
A3.1	Exterior Perspective
A4.0	Building Section
A4.1	Stair & Wall Section & Section Details
A4.2	Section Details
A5.0	Door & Window Schedule
A5.1	Standard Details
A5.2	Tyvek Details
A5.3	Adaptable Unit Details
A5.6	Public Area ADA Details
A5.7	Energy Star Air Sealing Details
A5.8	Energy Star Air Sealing Details
A5.9	Energy Star Air Sealing Details
A5.10	Energy Star Air Sealing Details

Structural

S0.0	Structural Notes
S0.1	Structural Notes & Schedules
S1.0	Footing & Foundation Plan
S1.1	Foundation Insulation Plan
S2.0	Floor Framing Plans
S3.0	Roof Framing Plan
S4.0	Structural Details
S4.1	Structural Details
S4.2	Structural Details

09.17.2025

Ankeny, IA

Building 14A West

Deer Creek

25011

Revisions

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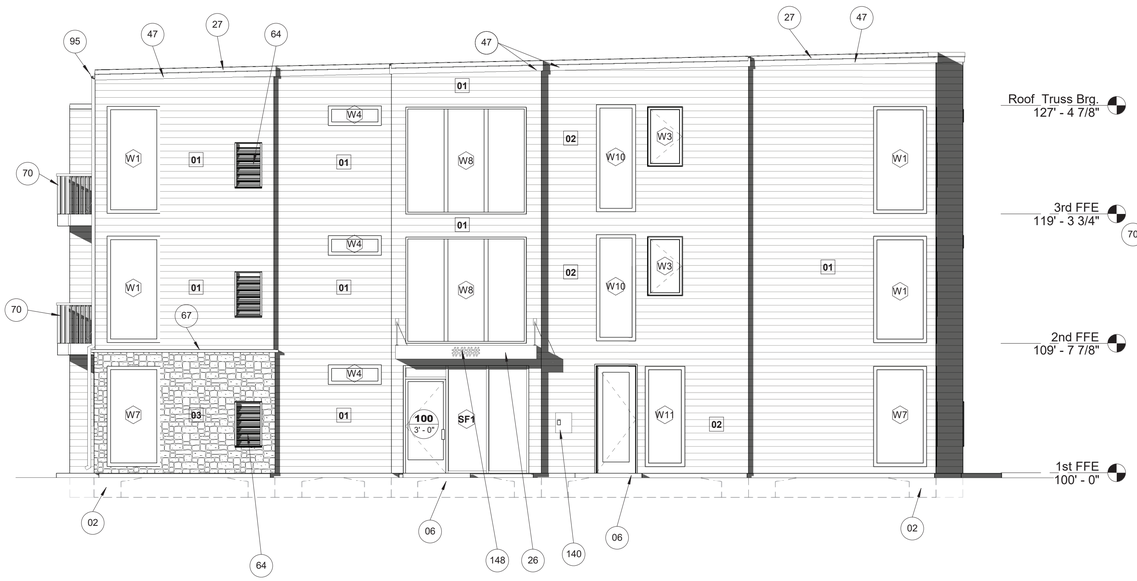
9/17/2025 5:14:31 PM Autodesk Docs://Crooks Reserve/25011 Crooks Reserve 14A West.rvt

1 Rear Elevation

Scale: 3/16" = 1'-0"

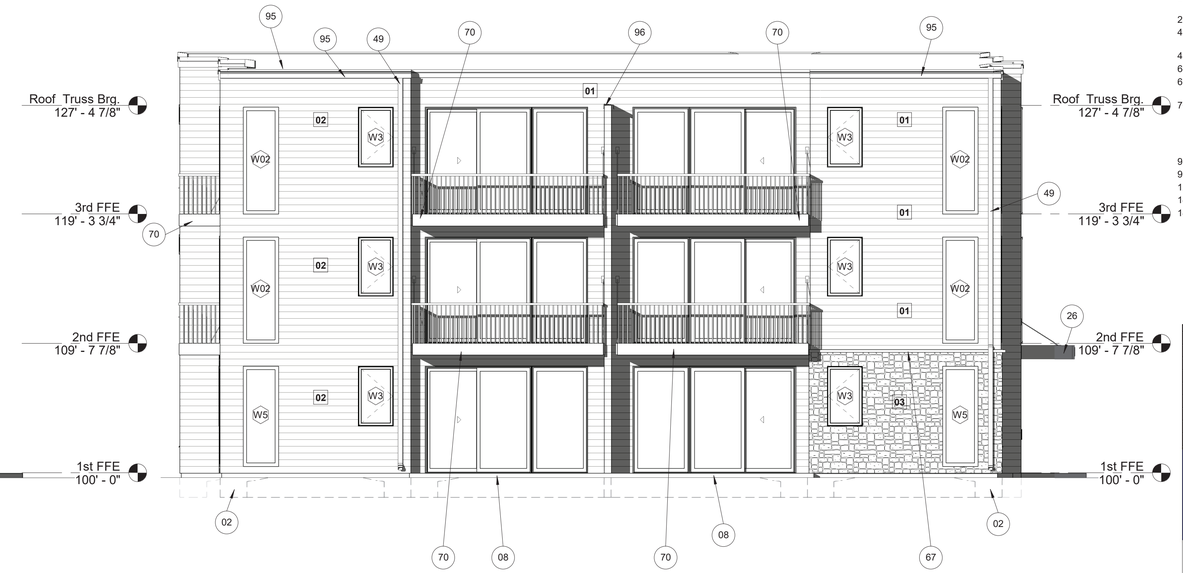
2 Right Elevation

Scale: 3/16" = 1'-0"



3 Front Elevation

Scale: 3/16" = 1'-0"



4 Left Elevation

Scale: 3/16" = 1'-0"

Plan Notes

02	Poured concrete foundation wall, see structural.
06	Poured concrete stoop, see structural.
08	Poured concrete patio slab. Pour slab flush @ all ADA unit locations.
26	Prefinished aluminum canopy w/ tie-backs. Install per mfr. recommendations. G.C. to verify.
27	Prefinished metal drip edge.
47	2x fascia wrapped in prefinished metal. Verify color w/ owner.
49	Prefinished aluminum downspout.
64	Prefinished through-wall louver for VTAC.
67	Stone rowlock course, typ. Slope for drainage and flash to match finish above (top of stone wainscot, typ.).
70	Prefinished aluminum deck and guardrail (42" high min.), powdercoat black, w/ turnbuckle attachment (G.C. to verify.). Spindles shall not have openings that allow passage of a sphere 4" in diameter. Railing is to resist lateral load of 50 lbs. per linear foot.
95	Prefinished aluminum gutter.
96	Prefinished metal coping at top of wall.
129	Electrical meter location.Verify with G.C.
140	Access Key Box. Fire Marshall to verify location.
148	Address numerals, 4" (minimum) in height & 2" (minimum) wide & a minimum stroke of 0.5". Must be contrasting color from background material. Verify location & height w/Fire Marshall prior to installing.

PRELIMINARY

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VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Sioux Falls, S.D. 605·339·4411

VELDCO

MAILBOX MONEY

Deer Creek
Ankeny, IA

Building 14A West

Exterior Elevations

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Project No. 25011	Revisions	A3.0
Date: 09.17.2025		
Drawn By: BAS		

9/17/2025 5:14:40 PM Autodesk Docs://Crooks Reserve/25011 Crooks Reserve 14A West.rvt

1 **Front Perspective**

Scale: Not To Scale

2 **Rear Perspective**

Scale: Not To Scale

PRELIMINARY

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VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Sioux Falls, S.D. 605·339·4411

VELDCO
MAILBOX MONEY

Deer Creek
Ankeny, IA

Building 14A West

Exterior Perspective

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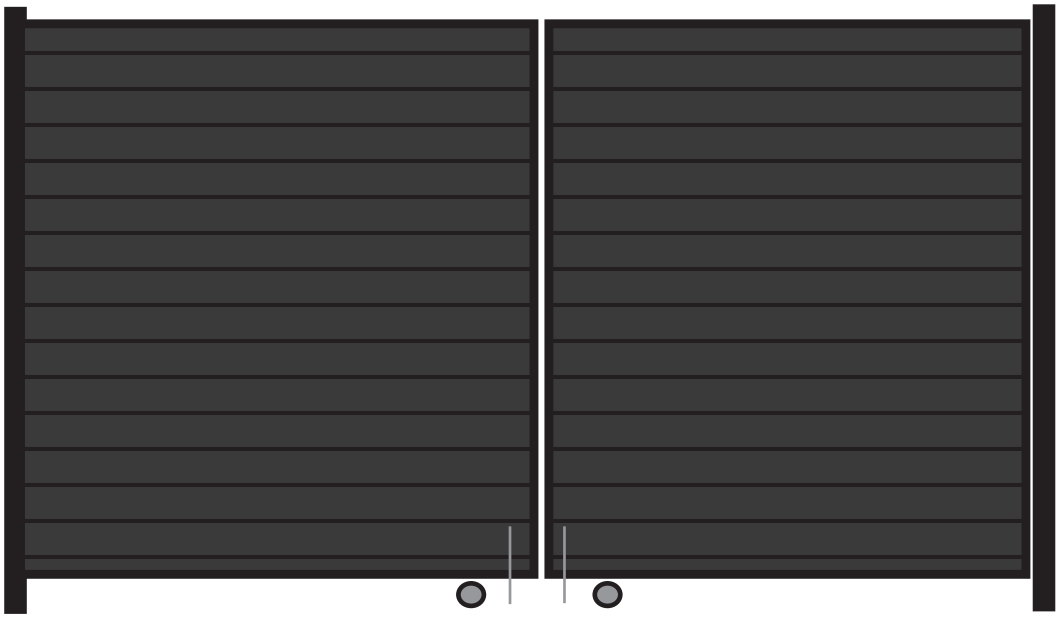
		Revisions	
Project No.	25011		**A3.1**
Date:	09.17.2025		
Drawn By:	BAS		

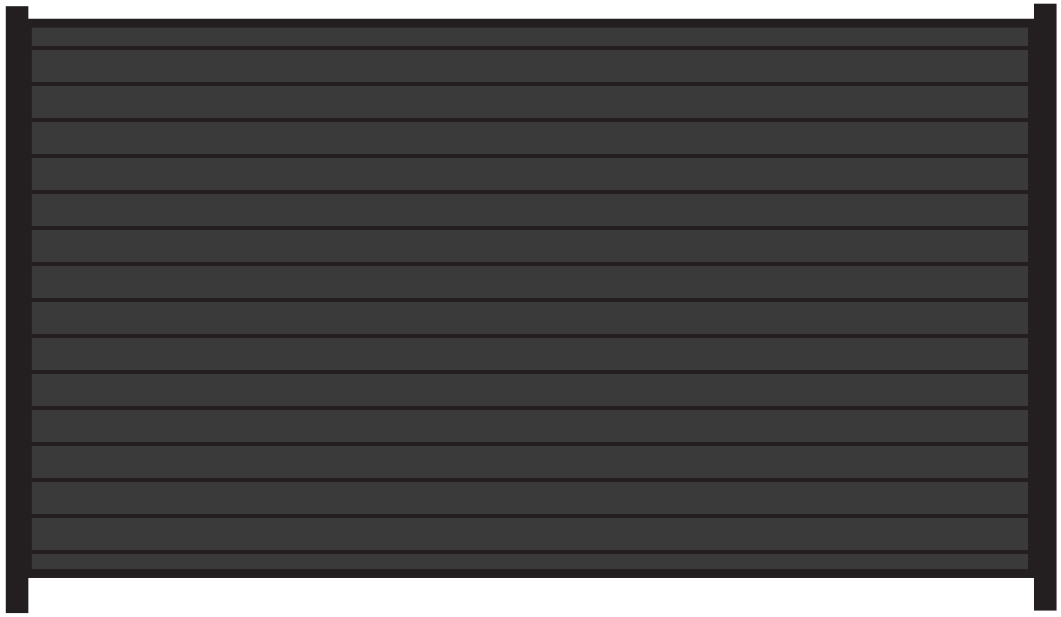
9/17/2025 5:14:53 PM Autodesk Docs://Crooks Reserve/25011 Crooks Reserve 14A West.rvt

TRASH ENCLOSURE DESIGN
NOT TO SCALE

FRONT ELEVATION



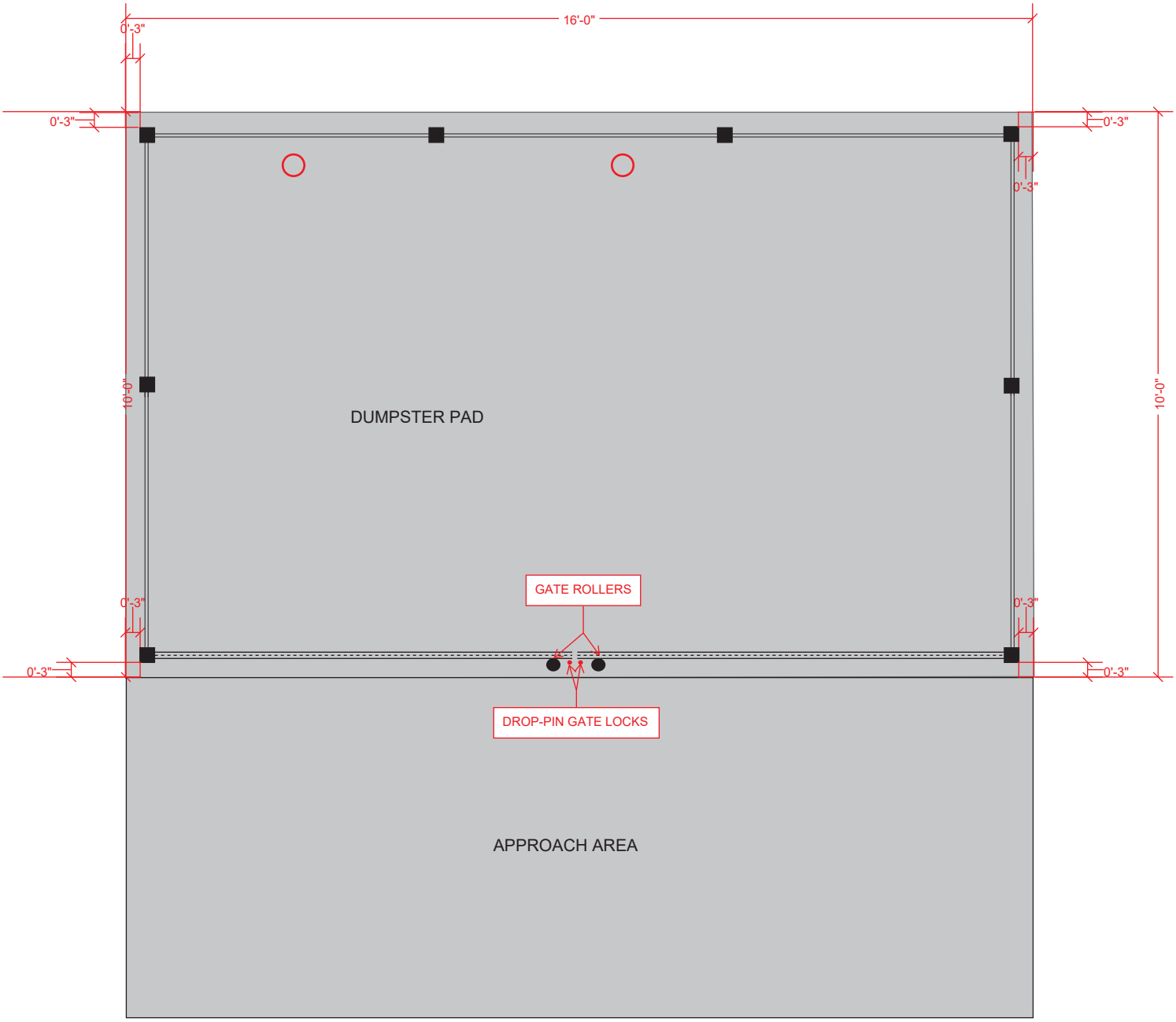
SIDE/REAR ELEVATION



3"x3" post

Horizontal PVC infill panel - black

Horizontal double swing gate w/ PVC infill - black



PLAN AND ZONING COMMISSION

Plan and Zoning Commission Agenda

November 4, 2025
6:30 PM

Ted Rapp, Chair
Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter
Lisa West
Todd Ripper
Phil Tuning

ITEM NAME
Director and Commissioner Reports

ORIGINATING DEPARTMENT
Community Development

COUNCIL GOAL

ACTION REQUESTED

LEGAL

EXECUTIVE SUMMARY

CITY MANAGER/STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S)

FISCAL IMPACT

PUBLIC OUTREACH EFFORTS

ACTION REQUESTED

1. November 3, 2025, City Council Report
2. Tentative Agenda items for Tuesday, November 18, 2025
3. October 2025 Building Permit Report
4. Commissioner's Reports

ATTACHMENTS

1. October 2025 Building Permits Report

City of Ankeny
Building Permit Report

Month of October 2025

	Issued		Issued		Issued Calendar Year				Issued Fiscal Year	
	October-25		October-24		1/1/2025-10/31/2025		1/1/2024-10/31/2024		7/1/2025-10/31/2025	
	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation
RESIDENTIAL										
New Dwellings										
New Single Family Detached	52	$22,325,618	30	$12,814,008	301	$121,125,778	352	$135,268,694	139	$57,620,339
New Single Family Attached/Duplex	48	$13,665,625	58	$16,346,205	307	$80,988,201	180	$47,046,299	74	$21,014,617
New Multi - Family	0	$0	0	$0	8	$73,852,252	7	$16,820,623	1	$4,003,375
Total New Residential Permits	**100**	**$35,991,243**	**88**	**$29,160,213**	**616**	**$275,966,231**	**539**	**$199,135,616**	**214**	**$82,638,331**
Additions/Alterations/Other (1)	68	$628,049	79	$907,991	698	$24,176,832	677	$7,744,935	304	$2,230,744
Total New Dwelling Units	***100***		***88***		***1219***		***626***		***234***	
NON-RESIDENTIAL										
New Commercial *	4	$25,850,000	2	$5,976,970	22	$86,395,223	12	$30,338,234	8	$30,900,190
COM Additions/Alterations/Other	8	$427,850	7	$4,328,169	67	$19,913,021	88	$46,570,705	27	$3,083,373
New Church	0	$0	0	$0	1	$300,000	0	$0	0	$0
CHR Additions/Alterations/Other	0	$0	2	$58,200	5	$7,907,744	5	$317,908	3	$4,366,794
New School	2	$30,639,960	0	$0	3	$30,649,960	0	$0	3	$30,649,960
SCH Additions/Alterations/Other	0	$0	0	$0	4	$832,250	2	$3,612,000	2	$273,760
Total Non Residential Permits	**14**	**$56,917,810**	**11**	**$10,363,339**	**102**	**$145,998,198**	**107**	**$80,838,847**	**43**	**$69,274,077**
MISC PERMITS (2)	90	$70,388	85	$124,613	837	$1,885,310	726	$1,113,469	355	$551,646
TOTALS	**272**	**$93,607,490**	**263**	**$40,556,156**	**2253**	**$448,026,571**	**2049**	**$288,832,867**	**916**	**$154,694,798**

(1) includes permits issued for sheds, pools, garages, decks, porches, auxiliary structures

(2) includes permits issued for: driveway approach, signs, fences, other misc. non-residential

RSF includes attached & detached dwelling units; RDF includes duplexs; RMF includes apartments & stacked condo units

* includes footing & foundation permits

The City Of Ankeny
Building Permit Report (Monthly)
Date xlRange from October 2025

Type of Use	Type of Work	Issue Date	Valuation	Permit Number	Street Address	Applicant Name	Contractor Name
Single Family Detached	New Building	10/1/2025	$359,145	25-5601-NEW	4218 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$365,020	25-5602-NEW	4219 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$327,733	25-5603-NEW	4222 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$310,326	25-5604-NEW	4223 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$318,078	25-5605-NEW	4303 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$343,268	25-5606-NEW	4302 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$310,326	25-5607-NEW	4306 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/1/2025	$332,179	25-5608-NEW	4307 NE 3rd St	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/2/2025	$685,105	25-5661-NEW	7373 NE Berwick Dr	Redwood Builders	Redwood Builders
Single Family Detached	New Building	10/3/2025	$383,144	25-5628-NEW	2610 NW Fairfield Dr	Leto Built	Leto Built
Single Family Detached	New Building	10/3/2025	$567,059	25-5663-NEW	2913 NW Fairfield Ct	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	10/3/2025	$270,517	25-5713-NEW	4319 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	New Building	10/3/2025	$270,517	25-5714-NEW	4323 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	New Building	10/3/2025	$540,621	25-5715-NEW	2606 NW Fairfield Dr	Leto Built	Leto Built
Single Family Detached	New Building	10/3/2025	$270,517	25-5716-NEW	4331 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	New Building	10/3/2025	$270,517	25-5718-NEW	4327 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	New Building	10/6/2025	$518,666	25-5664-NEW	3831 NW Reinhart Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	10/6/2025	$476,233	25-5666-NEW	3709 NW Reinhart Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	10/6/2025	$424,026	25-5747-NEW	2912 NW Beechwood Ct	Happe Homes, LLP	Happe Homes, LLP
Single Family Detached	New Building	10/6/2025	$434,023	25-5963-NEW	1411 NW Jackson Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	10/8/2025	$432,138	25-5953-NEW	3618 NE 12th St	Astoria Homes LLC	Astoria Homes LLC
Single Family Detached	New Building	10/9/2025	$452,690	25-5951-NEW	3208 SE Bannister Dr	Redwood Builders	Redwood Builders
Single Family Detached	New Building	10/9/2025	$396,190	25-5952-NEW	3206 SE Bannister Dr	Redwood Builders	Redwood Builders
Single Family Detached	New Building	10/9/2025	$415,401	25-5973-NEW	4224 NE 11th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/9/2025	$366,840	25-5976-NEW	4223 NE 11th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/9/2025	$390,001	25-5977-NEW	4220 NE 11th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/10/2025	$486,143	25-5228-NEW	3100 SE Elkwood Ct	Happe Homes, LLP	Happe Homes, LLP
Single Family Detached	New Building	10/10/2025	$401,577	25-5979-NEW	5802 NE Verona Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/10/2025	$400,837	25-5980-NEW	5806 NE Verona Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/10/2025	$331,678	25-5981-NEW	5805 NE Verona Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/13/2025	$429,877	25-5796-NEW	4414 NE Winchester Ct	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/14/2025	$492,933	25-5791-NEW	2713 NW Linwood Ct	MJ Properties	MJ Properties
Single Family Detached	New Building	10/15/2025	$479,836	25-5708-NEW	2912 NW Fairfield Ct	Vander Kamp Homebuilders	Vanderkamp Framing LLC
Single Family Detached	New Building	10/16/2025	$460,201	25-6046-NEW	1803 NE Frisk Dr	MJ Properties	MJ Properties
Single Family Detached	New Building	10/16/2025	$452,690	25-6103-NEW	2108 NE 19th St	Redwood Builders	Redwood Builders
Single Family Detached	New Building	10/16/2025	$291,695	25-6114-NEW	4114 NW 17th Ct	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	New Building	10/17/2025	$619,389	25-6225-NEW	1211 NE Winding Trail Ct	JRL Builders	JRL Builders
Single Family Detached	New Building	10/23/2025	$447,611	25-6265-NEW	3301 SE Bannister Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	10/23/2025	$1,007,668	25-6312-NEW	2016 NE Pond View Ct	Redwood Builders	Redwood Builders
Single Family Detached	New Building	10/23/2025	$363,355	25-6322-NEW	1402 NW Benjamin Dr	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	New Building	10/27/2025	$356,055	25-6246-NEW	2611 NW Fairfield Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/27/2025	$405,092	25-6247-NEW	2615 NW Fairfield Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/27/2025	$533,434	25-6248-NEW	2802 NW Fairfield Ct	Jerry's Homes Inc.	Jerry's Homes Inc.

Single Family Detached	New Building	10/27/2025	$436,058	25-6249-NEW	2806 NW Fairfield Ct	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/27/2025	$449,286	25-6250-NEW	2810 NW Fairfield Ct	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/27/2025	$451,270	25-6275-NEW	606 NE 59th Ct	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/27/2025	$434,427	25-6364-NEW	605 NE 59th Ct	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	New Building	10/28/2025	$505,397	25-6401-NEW	2916 NW Fairfield Ct	Vander Kamp Homebuilders	Vanderkamp Framing LLC
Single Family Detached	New Building	10/29/2025	$429,127	25-6365-NEW	6312 NE Grant Ln	Harvest Ridge Builders	Harvester Ridge Builders LLC
Single Family Detached	New Building	10/29/2025	$564,187	25-6453-NEW	1707 NE Pine Lake Cir	Fidelis Homes and Development	Fidelis Homes and Development
Single Family Detached	New Building	10/30/2025	$405,282	25-6445-NEW	2712 NW Fairfield Dr	Happe Homes, LLP	Happe Homes, LLP
Single Family Detached	New Building	10/30/2025	$460,233	25-6531-NEW	1809 NE Pine Lake Cir	MJ Properties	MJ Properties
Single Family Attached	New Building	10/1/2025	$251,652	25-5653-NEW	604 NE Winding Trail Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/1/2025	$251,652	25-5657-NEW	608 NE Winding Trail Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/1/2025	$251,652	25-5659-NEW	612 NE Winding Trail Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/1/2025	$259,768	25-5650-NEW	602 NE Winding Trail Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/1/2025	$259,768	25-5654-NEW	606 NE Winding Trail Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/1/2025	$259,768	25-5658-NEW	610 NE Winding Trail Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/1/2025	$388,200	25-5617-NEW	5710 NE Creek Ridge Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/1/2025	$388,200	25-5618-NEW	5714 NE Creek Ridge Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/1/2025	$388,200	25-5614-NEW	5718 NE Creek Ridge Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/1/2025	$388,200	25-5615-NEW	5722 NE Creek Ridge Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$251,652	25-5693-NEW	591 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$251,652	25-5691-NEW	595 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$251,652	25-5688-NEW	599 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$251,652	25-5698-NEW	594 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$251,652	25-5696-NEW	598 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$251,652	25-5694-NEW	602 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$259,768	25-5692-NEW	593 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$259,768	25-5689-NEW	597 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$259,768	25-5687-NEW	601 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$259,768	25-5700-NEW	592 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$259,768	25-5697-NEW	596 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$259,768	25-5695-NEW	600 NE Hart Ln	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/7/2025	$283,800	25-5420-NEW	4204 NE Spear Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	10/7/2025	$283,800	25-5421-NEW	4208 NE Spear Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	10/7/2025	$283,800	25-5422-NEW	4212 NE Spear Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	10/7/2025	$283,800	25-5423-NEW	4216 NE Spear Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Duplex	New Building	10/7/2025	$303,963	25-5609-NEW	5516 NE Briarwood Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/7/2025	$303,963	25-5612-NEW	5528 NE Briarwood Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/7/2025	$326,368	25-5610-NEW	5520 NE Briarwood Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Duplex	New Building	10/7/2025	$326,368	25-5611-NEW	5524 NE Briarwood Dr	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Attached	New Building	10/14/2025	$225,202	25-5482-NEW	726 SE Ponds Edge Ln	Homes by Advantage LLC	Homes by Advantage LLC
Single Family Attached	New Building	10/14/2025	$225,202	25-5483-NEW	728 SE Ponds Edge Ln	Homes by Advantage LLC	Homes by Advantage LLC
Single Family Attached	New Building	10/15/2025	$287,127	25-6116-NEW	107 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$287,127	25-6117-NEW	111 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$287,127	25-6127-NEW	205 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$287,127	25-6128-NEW	209 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$289,514	25-6111-NEW	103 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$289,514	25-6118-NEW	115 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC

Single Family Attached	New Building	10/15/2025	$289,514	25-6120-NEW	201 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$289,514	25-6129-NEW	213 NE Doe Pointe Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$317,754	25-6134-NEW	4232 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$317,754	25-6136-NEW	4236 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$319,296	25-6131-NEW	4228 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	10/15/2025	$319,296	25-6145-NEW	4240 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Duplex	New Building	10/17/2025	$269,987	25-6106-NEW	4303 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Duplex	New Building	10/17/2025	$271,571	25-6107-NEW	4307 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Duplex	New Building	10/17/2025	$269,987	25-6109-NEW	4311 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Duplex	New Building	10/17/2025	$271,571	25-6110-NEW	4315 NW Olivia Ln	Greenland Homes IA INC	Greenland Homes IA INC
Single Family Detached	Building Alteration	10/6/2025	$22,050	25-5785-ALT	3014 SW Brookeline Dr	Mark Johnson	Mark Johnson
Single Family Detached	Porch	10/8/2025	$4,032	25-5221-PRCH	1332 NE 55th St	Central Iowa Contractor Services	Central Iowa Contractor Services
Duplex	Building Alteration	10/8/2025	$29,925	25-6031-ALT	716 SE Magazine Rd	Ben Frein	Ben Frein
Single Family Detached	Building Alteration	10/8/2025	$37,863	25-6130-ALT	404 SW Springfield Dr	Donna Perez	Donna Perez
Single Family Detached	Porch	10/9/2025	$2,640	25-5892-PRCH	4709 NE Oak Dr	Kevin Nguyen	Kevin Nguyen
Single Family Detached	Porch	10/13/2025	$6,400	25-6070-PRCH	904 NW 33rd St	Brian R Galloway	Brian R Galloway
Single Family Detached	Building Alteration	10/13/2025	$12,915	25-6150-ALT	2616 NW Reinhart Dr	RW Construction Incorporated	RW Construction Incorporated
Single Family Detached	Building Alteration	10/13/2025	$16,380	25-6242-ALT	2404 NW 31st St	Jose De La Rosa	Jose De La Rosa
Single Family Detached	Pergola	10/14/2025	$3,000	25-5720-PERG	351 NE 28th St	Red Cabin Carpentry	Red Cabin Carpentry
Single Family Detached	Building Alteration	10/17/2025	$18,238	25-6308-ALT	3124 NW 27th Cir	Jerry's Homes Inc.	Jerry's Homes Inc.
Single Family Detached	Solar	10/21/2025	$30,000	25-5992-SOL	1721 NE Frisk Dr	Eagle Point Solar	Eagle Point Solar
Single Family Detached	Building Alteration	10/21/2025	$3,000	25-6313-ALT	3406 SW Fairway Cir	Toby Hughes	Toby Hughes
Single Family Detached	Building Alteration	10/21/2025	$23,090	25-6394-ALT	1614 NW Benjamin Dr	Dvorak Construction	Dvorak Construction
Single Family Attached	Building Alteration	10/21/2025	$46,652	25-6399-ALT	705 SE Lowell Dr	Hazem Abdeltawab	Hazem Abdeltawab
Single Family Detached	Porch	10/22/2025	$2,000	25-6264-PRCH	426 NW Bramble Rd	Humberto Islas	Humberto Islas
Single Family Detached	Pergola	10/22/2025	$22,100	25-6439-PERG	2809 NW 38th Ln	Paramount Pergolas	Paramount Pergolas
Single Family Detached	Building Alteration	10/23/2025	$15,844	25-6458-ALT	5604 NE Sienna Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	Pergola	10/23/2025	$5,000	25-6459-PERG	4111 NW Applewood St	Josh Boyd	Josh Boyd
Single Family Detached	Building Alteration	10/23/2025	$30,114	25-6466-ALT	405 NE 15th St	Igor Cavlovic	Igor Cavlovic
Single Family Detached	Building Addition	10/29/2025	$34,473	25-6323-ADD	2901 NE Briarwood Dr	Graystone Companies LLC	Graystone Companies LLC
Single Family Detached	Building Alteration	10/29/2025	$24,066	25-6539-ALT	3118 NW 30th St	Robbie Rock	Robbie Rock
Single Family Detached	Porch	10/30/2025	$8,892	25-6388-PRCH	3115 SW 24th Ct	Timberline Builders Corp Inc	Timberline Builders Corp Inc
Single Family Detached	Building Alteration	10/30/2025	$24,875	25-6581-ALT	1413 SE Waywin Dr	Dean Paulsen & Sons Contractors	Dean Paulsen & Sons Contractors
Single Family Detached	Garage	10/15/2025	$39,720	25-5646-GAR	1214 SW 3rd St	Ogg Construct	Ogg Construct
Single Family Detached	Garage	10/15/2025	$10,327	25-6165-GAR	2007 NE 16th St	3 Sons Construction	3 Sons Construction
Single Family Detached	Garage	10/31/2025	$66,730	25-6361-GAR	1804 SW Franklin Dr	Tom Feldmann	Tom Feldmann
Single Family Detached	Shed	10/1/2025	$2,400	25-5899-SHD	2616 NW Reinhart Dr	Alviz Jose	Tuff Shed
Single Family Detached	Shed	10/6/2025	$2,400	25-6014-SHD	504 NE 48th Ct	Brian Ziemann	Premier Portable Buildings
Single Family Detached	Shed	10/6/2025	$3,360	25-6023-SHD	3214 SW Woods Ct	Dustin N Bloom	Dustin N Bloom
Single Family Detached	Shed	10/7/2025	$2,400	25-6003-SHD	4611 NE Briarwood Dr	Cole Jadon Eischeid	Cole Jadon Eischeid
Single Family Detached	Shed	10/10/2025	$4,000	25-6158-SHD	3804 SE Grant St	Rachel Nichols	Kevin Grall Premier Portable
Single Family Detached	Shed	10/14/2025	$2,400	25-6262-SHD	1508 NW Benjamin Dr	John Kish	John Kish
Single Family Detached	Shed	10/16/2025	$2,400	25-6324-SHD	2709 NW 40th St	Tuff Shed	Tuff Shed
Single Family Detached	Shed	10/22/2025	$1,600	25-6434-SHD	3053 NW 19th Ct	Kit Jamieson	Tuff Shed
Single Family Detached	Shed	10/23/2025	$2,800	25-6414-SHD	309 NW Beechwood St	Sheryl Banning	Tuff Shed

Single Family Detached	Shed	10/24/2025	$2,560	25-6390-SHD	3921 NW Seasons Ct	Darryl Jamison	Darryl Jamison
Single Family Detached	Shed	10/24/2025	$5,760	25-6450-SHD	3002 SW Brookeline Dr	Daniel L Kline	Kevin Grall Custom Sheds & Storing
Single Family Attached	Deck	10/1/2025	$1,200	25-5853-DECK	2707 SW Prairie Trail Pkwy	Better Builders	Better Builders
Single Family Detached	Deck	10/2/2025	$2,688	25-5854-DECK	2313 NW Park Meadows Dr	Des Moines Deck, LLC	Des Moines Deck, LLC
Single Family Detached	Deck	10/3/2025	$2,688	25-5819-DECK	1506 NW North Creek Dr	Shepherd Construction	Shepherd Construction
Single Family Detached	Deck	10/3/2025	$108	25-5933-DECK	415 NE Crossing Oaks Dr	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Detached	Deck	10/3/2025	$4,896	25-5941-DECK	3003 NE Trilein Dr	John Holman	John Holman
Single Family Detached	Deck	10/6/2025	$2,304	25-6004-DECK	1006 NW 31st St	John Holman	John Holman
Single Family Detached	Deck	10/9/2025	$960	25-6029-DECK	7368 NE Berwick Dr TRLR 67	Kenneth Conn	Kenneth Conn
Single Family Detached	Deck	10/9/2025	$2,880	25-6036-DECK	2716 NW 21st St	Hempstead Home Repairs LLC	Hempstead Home Repairs LLC
Single Family Detached	Deck	10/9/2025	$240	25-6163-DECK	2810 NW 28th St	Tyler Kintz	Tyler Kintz
Single Family Detached	Deck	10/10/2025	$1,728	25-4702-DECK	559 SW 40th St	Home Solutions of Iowa	Home Solutions of Iowa
Single Family Detached	Deck	10/10/2025	$2,016	25-5972-DECK	5510 NE Seneca Dr	Alexander A Schelling	Top Tier Property Services llc
Single Family Detached	Deck	10/10/2025	$2,544	25-6057-DECK	2513 SW 32nd St	Dustin Gordinier	Dustin Gordinier
Single Family Detached	Deck	10/13/2025	$2,928	25-5599-DECK	1106 SE Hayes Dr	Jason Michael Logan	Jason Michael Logan
Single Family Detached	Deck	10/14/2025	$2,880	25-5655-DECK	3222 SW Coves Dr	Better Builders	Better Builders
Single Family Detached	Deck	10/14/2025	$2,592	25-5719-DECK	351 NE 28th St	Red Cabin Carpentry	Red Cabin Carpentry
Multi-Family	Deck	10/15/2025	$576	25-6239-DECK	314 NW Chapel Dr	Pedro Baeza	Pedro Baeza
Single Family Detached	Deck	10/16/2025	$1,728	25-6299-DECK	501 SW 15th St	Better Builders	Better Builders
Multi-Family	Deck	10/23/2025	$288	25-6240-DECK	310 NW Chapel Dr	Pedro Baeza	Pedro Baeza
Single Family Detached	Deck	10/23/2025	$3,648	25-6417-DECK	1010 NE Lake View Dr	Buresh Homes Solutions	Buresh Home Solutions
Single Family Attached	Deck	10/23/2025	$480	25-6460-DECK	4004 SW Goodwin St	Juan Pina	Juan Pina
Single Family Detached	Deck	10/24/2025	$1,440	25-6464-DECK	1230 NE Cold Harbor Dr	Ultimate Construction Services	Ultimate Construction Services
Single Family Detached	Deck	10/24/2025	$3,024	25-6465-DECK	5203 NW 6th St	Jason Jackson	Rob Albright Construction Inc
Single Family Detached	Deck	10/24/2025	$5,100	25-6482-DECK	713 NE Barclay Cir	Reiter Construction	Reiter Construction
Single Family Detached	Deck	10/28/2025	$3,180	25-6500-DECK	1116 SW 3rd St	Chuck Whitney	Chuck Whitney
Single Family Detached	Deck	10/29/2025	$2,760	25-6527-DECK	1316 NE 51st St	Better Builders	Better Builders
Single Family Detached	Ramp	10/7/2025	$768	25-6016-RAMP	706 SE Sharon Dr	Michael Herrick Ronnie	Michael Herrick Ronnie
Single Family Detached	Spa/Hot Tub	10/3/2025	$0	25-5985-SPA	1907 NW Lakeside Dr	Matt. Bogenrief	Matt. Bogenrief
Single Family Detached	Spa/Hot Tub	10/9/2025	$0	25-6100-SPA	2606 NW Boulder Point Pl	Timothy Mills	Jaspering Electric Inc
Single Family Detached	Spa/Hot Tub	10/17/2025	$0	25-6353-SPA	3011 NW Maple Ct	Pamela Sekulich	Pamela Sekulich
Single Family Detached	Spa/Hot Tub	10/22/2025	$0	25-6392-SPA	822 SE 4th St	Tony Angron	Tony Angron
Single Family Detached	Swimming Pool	10/1/2025	$0	25-5481-POOL	6104 NE Terrace Ridge Dr	Valley Pool & Hot Tubs	Valley Pool & Hot Tubs, Precision Ele
Mixed Use	New Building	10/3/2025	$15,500,000	25-3533-NEW	1201 SE Mill Pond Ct	SB&A Architecture	SB&A Architecture
Manufacturing	New Building	10/17/2025	$10,000,000	25-4537-NEW	700 SE Dalbey Dr	Venter Spooner Inc	Venter Spooner Inc
Retail	New Building	10/22/2025	$100,000	25-6184-NEW	2710 SW Snyder Blvd	Daniel Willrich	Daniel Willrich
Storage	New Building	10/22/2025	$250,000	25-6235-NEW	314 SW Irvinedale Dr	C & A Investors LLC	C & A Investors LLC
Retail	Building Alteration	10/1/2025	$10,450	25-5898-ALT	317 E 1st St	Ankeny & Neighbors handyman	Ankeny & Neighbors handyman
Office	Building Alteration	10/2/2025	$50,000	25-4156-ALT	2710 S Ankeny Blvd	Community Choice Bank	Greiner Construction
Other	Building Alteration	10/3/2025	$50,000	25-5824-ALT	108 SE 3rd St	Tiernan Properties, LLC	Beau Knows Construction
Office	Building Alteration	10/9/2025	$80,000	25-5073-ALT	317 S Ankeny Blvd	Eden and Gray Design Build	Eden and Gray Design Build
Office	Building Alteration	10/10/2025	$15,000	25-6179-ALT	2425 N Ankeny Blvd UNIT 101	Meadowbrook Builders LLC	Meadowbrook Builders LLC

Retail	Solar	10/23/2025	$195,000	25-6066-SOL	2402 SE Hulsizer Rd	Tri-City Electric Co	Tri-City Electric Co
Mixed Use	Gazebo	10/10/2025	$25,000	25-4865-GAZ	1810 NW Savannah Ln	Benson Orth General Contractors	Benson Orth General Contractors
Storage	Shed	10/30/2025	$2,400	25-6521-SHD	714 NE 5th St	Sarah Costa	Premier Portable Buildings
School	New Building	10/15/2025	$5,072,700	25-4844-NEW	2006 S Ankeny Blvd Bldg 27	Kurt Chicoine	Ryan Companies US, Inc
School	New Building	10/24/2025	$25,567,260	25-5339-NEW	2006 S Ankeny Blvd Bldg 14	Ryan Companies US, Inc.	Ryan Companies US, Inc.
Single Family Detached	Fence/Wall	10/1/2025	$0	25-5773-FNCE	6104 NE Terrace Ridge Dr	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	Fence/Wall	10/1/2025	$0	25-5896-FNCE	506 NW Nickolas Dr	Grace Fox	Grace Fox
Single Family Detached	Fence/Wall	10/2/2025	$0	25-5705-FNCE	1402 SE Michael Dr	Bret Staples	Bret Staples
Single Family Detached	Fence/Wall	10/2/2025	$0	25-5767-FNCE	1608 NW Jackson Dr	Great Barrier Fence Co	Great Barrier Fence Co
Single Family Detached	Fence/Wall	10/3/2025	$0	25-5821-FNCE	2810 NW 28th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/3/2025	$0	25-5822-FNCE	518 SE Michael Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/3/2025	$0	25-5994-FNCE	912 NW 32nd St	Huber Fencing	Huber Fencing
Single Family Detached	Fence/Wall	10/8/2025	$0	25-5149-FNCE	711 NE Meadow Landing Dr	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	10/8/2025	$0	25-6126-FNCE	1301 NW Jackson Dr	Rob Klinkefus	Rob Klinkefus
Single Family Detached	Fence/Wall	10/9/2025	$0	25-6013-FNCE	3151 SE Primrose Dr	Thrive Fencing	Thrive Fencing
Single Family Detached	Fence/Wall	10/10/2025	$0	25-6172-FNCE	2205 NW Greenwood St	Superior Fence & Rail	Superior Fence & Rail
Single Family Detached	Fence/Wall	10/13/2025	$0	25-4443-FNCE	530 NE 9th St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	10/13/2025	$0	25-5224-FNCE	4605 NW 13th St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	10/13/2025	$0	25-6024-FNCE	3216 NW Northpark Dr	Bos Fencing	Bos Fencing
Industrial	Fence/Wall	10/14/2025	$0	25-6180-FNCE	710 SE Creekview Dr	Spencer Elliot	Platinum Fence Company LLC
Single Family Detached	Fence/Wall	10/14/2025	$0	25-6270-FNCE	5201 NW 12th St	Toran Shahidi	Fencing Solutions
Single Family Detached	Fence/Wall	10/15/2025	$0	25-6032-FNCE	3219 NW 27th Cir	Ryan Miller	Ryan Miller
Single Family Detached	Fence/Wall	10/15/2025	$0	25-6272-FNCE	505 SE Lowell Dr	IOWA ONE ROOFING FENCING	IOWA ONE ROOFING FENCING
Single Family Detached	Fence/Wall	10/16/2025	$0	25-6075-FNCE	1414 NW Pebble Dr	Mevludin Kremic	Mevludin Kremic
Single Family Detached	Fence/Wall	10/16/2025	$0	25-6332-FNCE	2723 NW Cedarwood Dr	Huber Fencing	Huber Fencing
Multi-Family	Fence/Wall	10/17/2025	$0	25-6224-FNCE	4310 NE 13th St	Marco Fence LLC	Marco Fence LLC
Single Family Detached	Fence/Wall	10/17/2025	$0	25-6309-FNCE	502 NE 7th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/17/2025	$0	25-6314-FNCE	4906 NW 5th St	American Fence Company	American Fence Company
Single Family Detached	Fence/Wall	10/20/2025	$0	25-6363-FNCE	9855 NE Frisk Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6393-FNCE	822 SE 4th St	Tony Angron	Tony Angron
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6419-FNCE	2312 SW 38th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6420-FNCE	2315 SW 36th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6421-FNCE	605 NW Orchard Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6422-FNCE	1103 NW Boulder Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6423-FNCE	403 NE Hanover Ct	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/22/2025	$0	25-6441-FNCE	3116 NW 25th St	American Fence Company	American Fence Co
Office	Fence/Wall	10/23/2025	$0	25-6254-FNCE	1605 N Ankeny Blvd	Thrive Fencing	Thrive Fencing
Single Family Detached	Fence/Wall	10/23/2025	$0	25-6452-FNCE	805 NE Meadow Landing Dr	Bret Staples	Bret Staples
Single Family Detached	Fence/Wall	10/24/2025	$0	25-6476-FNCE	300 NW Reinhart Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	10/24/2025	$0	25-6478-FNCE	5710 NE Sienna Dr	Dayne Sly	Elite IntEx Solutions
Single Family Detached	Fence/Wall	10/26/2025	$0	25-6372-FNCE	730 SE 10th St	JG Fencing	JG Fencing
Single Family Attached	Fence/Wall	10/27/2025	$0	25-6468-FNCE	920 NE 18th St	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	10/27/2025	$0	25-6497-FNCE	714 NE 5th St	Fernando Colin	Fernando Colin
Single Family Detached	Fence/Wall	10/28/2025	$0	25-6540-FNCE	614 SE 4th St	Huber Fencing	Huber Fencing
Single Family Detached	Fence/Wall	10/30/2025	$0	25-6585-FNCE	511 SW Magazine Rd	Grace Fox	Revamp Fence & Deck
Single Family Attached	Fence/Wall	10/30/2025	$0	25-6596-FNCE	3017 NW Westwood St	Leisa Osterhaus	Leisa Osterhaus

Single Family Detached	Fence/Wall	10/30/2025	$0	25-6598-FNCE	1521 SW Des Moines St	Superior Fence & Rail	Superior Fence and Rail
Single Family Detached	Fence/Wall	10/31/2025	$0	25-5511-FNCE	1205 NW Wagner Blvd	Post to Post Fence LLC	Post to Post Fence LLC
Single Family Detached	Fence/Wall	10/31/2025	$0	25-5590-FNCE	402 NW Reinhart Dr	Superior Fence & Rail	Superior Fence and Rail
Office	Sign	10/6/2025	$4,000	25-1295-SIGNP	1535 SW Market St Ste 300	Drake Signs	Drake Signs
Restaurant	Sign	10/6/2025	$200	25-5707-SIGNP	1975 N Ankeny Blvd	Wilfredo Melgar	iSigns First LLC
Multi-Family	Sign	10/6/2025	$16,524	25-5732-SIGNP	1210 SW 28th St	Iowa Sign Company	Iowa Sign Company
Retail	Sign	10/13/2025	$3,125	25-6181-SIGNP	215 NW 18th St Ste 105	Lashier Graphics & Signs	Lashier Graphics & Signs
Retail	Sign	10/14/2025	$2,000	25-6065-SIGNP	225 SE Oralabor Rd Ste 5	Drake Signs	Drake Signs
Church	Sign	10/14/2025	$431	25-6133-SIGNP	2202 W 1st St Ste A	Nagle/Eagle Sign Co	Nagle/Eagle Sign Co
Church	Sign	10/14/2025	$2,123	25-6135-SIGNP	2202 W 1st St Ste A	Nagle/Eagle Sign Co	Nagle/Eagle Sign Co
Restaurant	Sign	10/14/2025	$390	25-6230-SIGNP	802 SE Oralabor Rd Ste 108	Nagle/Eagle Sign Co	Nagle/Eagle Sign Co
Restaurant	Sign	10/14/2025	$3,144	25-6234-SIGNP	802 SE Oralabor Rd Ste 108	Nagle/Eagle Sign Co	Nagle/Eagle Sign Co
Office	Sign	10/16/2025	$1,114	25-5725-SIGNP	2675 N Ankeny Blvd Ste 107	Fastsigns of Clive	Visual Concepts, Inc DBA FastSigns
Office	Sign	10/16/2025	$3,350	25-6030-SIGNP	1950 SW Magazine Rd	Brandon Ver Meer	Latitude Signage + Design
Office	Sign	10/17/2025	$1	25-5996-SIGNP	1510 SW Oralabor Rd Ste B	First Class Signs	First Class Signs
Retail	Sign	10/20/2025	$850	25-5372-SIGNP	165 SW Magazine Rd	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Retail	Sign	10/20/2025	$5,050	25-5852-SIGNP	2405 N Ankeny Blvd STE 105	Chesnut Signs	Chesnut Signs
Single Family Detached	Sign	10/20/2025	$4,759	25-5856-SIGNP	1325 SW Oralabor Rd Ste 216	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Office	Sign	10/20/2025	$1	25-6245-SIGNP	114 NW 5th St	Fastsigns of Clive	Fastsigns
Office	Sign	10/20/2025	$1,100	25-6253-SIGNP	2675 N Ankeny Blvd Ste 113	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Restaurant	Sign	10/22/2025	$5,509	25-5780-SIGNP	1315 SW Oralabor Rd Ste 100	Iowa Sign Company	Iowa Sign Company
Restaurant	Sign	10/22/2025	$3,725	25-6263-SIGNP	1315 SW Oralabor Rd Ste 100	Iowa Sign Company	Iowa Sign Company
Mixed Use	Sign	10/27/2025	$4,760	25-6367-SIGNP	114 SW State St	Chesnut Signs	Chesnut Signs
Office	Sign	10/29/2025	$4,116	25-6101-SIGNP	1960 SW Magazine Rd	Lashier Graphics & Signs	Lashier Graphics & Signs
Office	Sign	10/29/2025	$4,116	25-6102-SIGNP	1960 SW Magazine Rd	Lashier Graphics & Signs	Lashier Graphics & Signs
Multi-Family	Temporary Sign	10/6/2025	$0	25-5459-SIGNT	905 SW 28th St	Iowa Sign Company	Iowa Sign Company
Retail	Temporary Sign	10/9/2025	$0	25-4998-SIGNT	240 NW 36th St Ste 103	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Single Family Detached	Drive Approach	10/8/2025	$0	25-5923-RSTRM	805 NE Keystone Dr	Quick Concrete Solutions	Quick Concrete Solutions
Single Family Detached	Drive Approach	10/8/2025	$0	25-6108-RSTRM	1018 NE 23rd Ct	Rendell Nelsen	Dave McCrory Construction
Single Family Detached	Drive Approach	10/9/2025	$0	25-6161-RSTRM	1101 NE Banbury Rd	Prime concrete LLC	Prime concrete LLC
Single Family Attached	Drive Approach	10/17/2025	$0	25-6354-RSTRM	203 NW Sharmin Dr	Brent Boyd	Brent Boyd
Single Family Detached	Drive Approach	10/21/2025	$0	25-6412-RSTRM	606 NW Wagner Ridge Ct	Amstatz Concrete LLC	Amstatz Concrete LLC
Single Family Detached	Drive Approach	10/22/2025	$0	25-6436-RSTRM	1910 NW Prairie Lakes Ct	I-80 CONCRETE	I-80 Concrete
Single Family Detached	Drive Approach	10/22/2025	$0	25-6447-RSTRM	3317 NE Huntington Ln	Solis Concrete	Solis Concrete
Single Family Detached	Drive Approach	10/22/2025	$0	25-6448-RSTRM	214 SE Uehlamar Dr	Amstatz Concrete LLC	Amstatz Concrete LLC
Single Family Detached	Drive Approach	10/24/2025	$0	25-6433-RSTRM	1706 NE Lowell Ct	I-80 Concrete	I-80 Concrete
Single Family Detached	Sidewalk	10/8/2025	$0	25-6149-RSWRP	3410 SW Edgewood Ln	Davenport Concrete	Davenport Concrete
Single Family Detached	Sidewalk	10/8/2025	$0	25-5924-RSWRP	805 NE Keystone Dr	Quick Concrete Solutions	Quick Concrete Solutions
Single Family Detached	Sidewalk	10/9/2025	$0	25-6164-RSWRP	1101 NE Banbury Rd	Prime concrete LLC	Prime concrete LLC
Single Family Detached	Sidewalk	10/21/2025	$0	25-6411-RSWRP	602 NW Wagner Ridge Ct	Amstatz Concrete LLC	Amstatz Concrete LLC
Single Family Detached	Sidewalk	10/24/2025	$0	25-6471-RSWRP	2402 NE Oak Dr Unit 3	M Brayton Chad	M Brayton Chad
Single Family Detached	Sidewalk	10/24/2025	$0	25-6435-RSWRP	1706 NE Lowell Ct	I-80 Concrete	I-80 Concrete
Single Family Detached	Sidewalk	10/29/2025	$0	25-6522-RSWRP	609 NW Beechwood St	James Faust	James Faust
Single Family Detached	Sidewalk	10/30/2025	$0	25-6530-RSWRP	4203 SW Goodwin St	AJ Plumbing	AJ Plumbing

Retail	Sidewalk	10/23/2025	$0	25-6444-RSWRP	621 N Ankeny Blvd	M Brayton Chad	Speck USA
Other	Demolition	10/22/2025	$0	25-6146-DEMO	314 SW Irvinedale Dr	C & A Investors LLC	C & A Investors LLC
Single Family Detached	Demolition	10/22/2025	$0	25-6318-DEMO	1530 SE 72nd St	Nolte Service & Repair	Nolte Service & Repair
Single Family Detached	Demolition	10/22/2025	$0	25-6319-DEMO	1640 SE 72nd St	Nolte Service & Repair	Nolte Service & Repair
Single Family Detached	Demolition	10/22/2025	$0	25-6320-DEMO	1610 SE 72nd St	Nolte Service & Repair	Nolte Service & Repair

PLAN AND ZONING COMMISSION

Plan and Zoning Commission Agenda

November 4, 2025
6:30 PM

Ted Rapp, Chair
Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter
Lisa West
Todd Ripper
Phil Tuning

ITEM NAME
Consider MOTION to adjourn the meeting.

ORIGINATING DEPARTMENT
Community Development

COUNCIL GOAL

ACTION REQUESTED

LEGAL

EXECUTIVE SUMMARY

CITY MANAGER/STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S)

FISCAL IMPACT

PUBLIC OUTREACH EFFORTS

ACTION REQUESTED

ATTACHMENTS

None