



Meeting Agenda

Plan and Zoning Commission

Wednesday, July 6, 2022

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Glenn Hunter, Chair

Ted Rapp, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the July 6, 2022 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the June 21, 2022 minutes of the Plan and Zoning Commission meeting.

2. 709 SW 3rd Street - RE/MAX Precision Sales Office Site Plan

Consider MOTION to approve the site plan for 709 SW 3rd Street, RE/MAX Precision Sales Office.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #2.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

3. Pheasant Trail Plat 1 Preliminary Plat

Consider MOTION to recommend City Council approval of the Pheasant Trail Plat 1 Preliminary Plat.

I. OLD BUSINESS:

J. REPORTS:

1. July 5, 2022 City Council Report - Staff

2. Director's Report

Tentative agenda items for July 19, 2022

June 2022 Building Permit Report

3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

July 18, 2022 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

July 6, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve and accept the June 21, 2022 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)

Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, June 21, 2022

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair G.Hunter called the June 21, 2022 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Glenn Hunter, Trina Flack, Ted Rapp, Todd Ripper, Randy Weisheit and Lisa West. Absent: Annette Renaud. Staff present: E.Jensen, E.Carstens, D.Silverthorn, B.Morrissey, B.Fuglsang

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve the June 21, 2022 agenda without amendments. Second by T.Ripper. All voted aye. Motion carried 6 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the June 7, 2022 minutes of the Plan and Zoning Commission meeting.

Item #2. Kimberley Estates Plat 2 Final Plat

Motion to recommend City Council approval of the Kimberley Estates Plat 2 Final Plat, subject to City Council authorizing cost participation for oversized sidewalk in an amount estimated to be \$3,706.50, authorizing cost participation for 12-inch water main in an amount estimated to be \$4,895, and authorizing the Mayor to sign a development agreement for the extension of the Four Mile Trunk Sewer.

Item #3. The Crossings at Deer Creek Plat 15 Final Plat

Motion to recommend City Council approval of The Crossings at Deer Creek Plat 15 Final Plat, subject to staff approval of the associated traffic impact study.

Motion by T.Rapp to approve the recommendations for Consent Agenda Items #1 - #3. Second by T.Flack. All voted aye. Motion carried 6 – 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

There were no business items.

REPORTS

City Council Meeting

E.Jensen reported on his attendance at the June 20, 2022 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the July 6, 2022 Plan and Zoning Commission meeting.

Commissioner's Reports

Commission members inquired about the firework stands within Ankeny. E.Jensen provided information on the change in legislation, which allows fireworks to be sold in different zoning districts.

MISCELLANEOUS ITEMS

July 5, 2022 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, motion by G.Hunter to adjourn the meeting. Second by T.Rapp. Meeting adjourned at 6:34 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

July 6, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

709 SW 3rd Street - RE/MAX Precision Sales Office Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

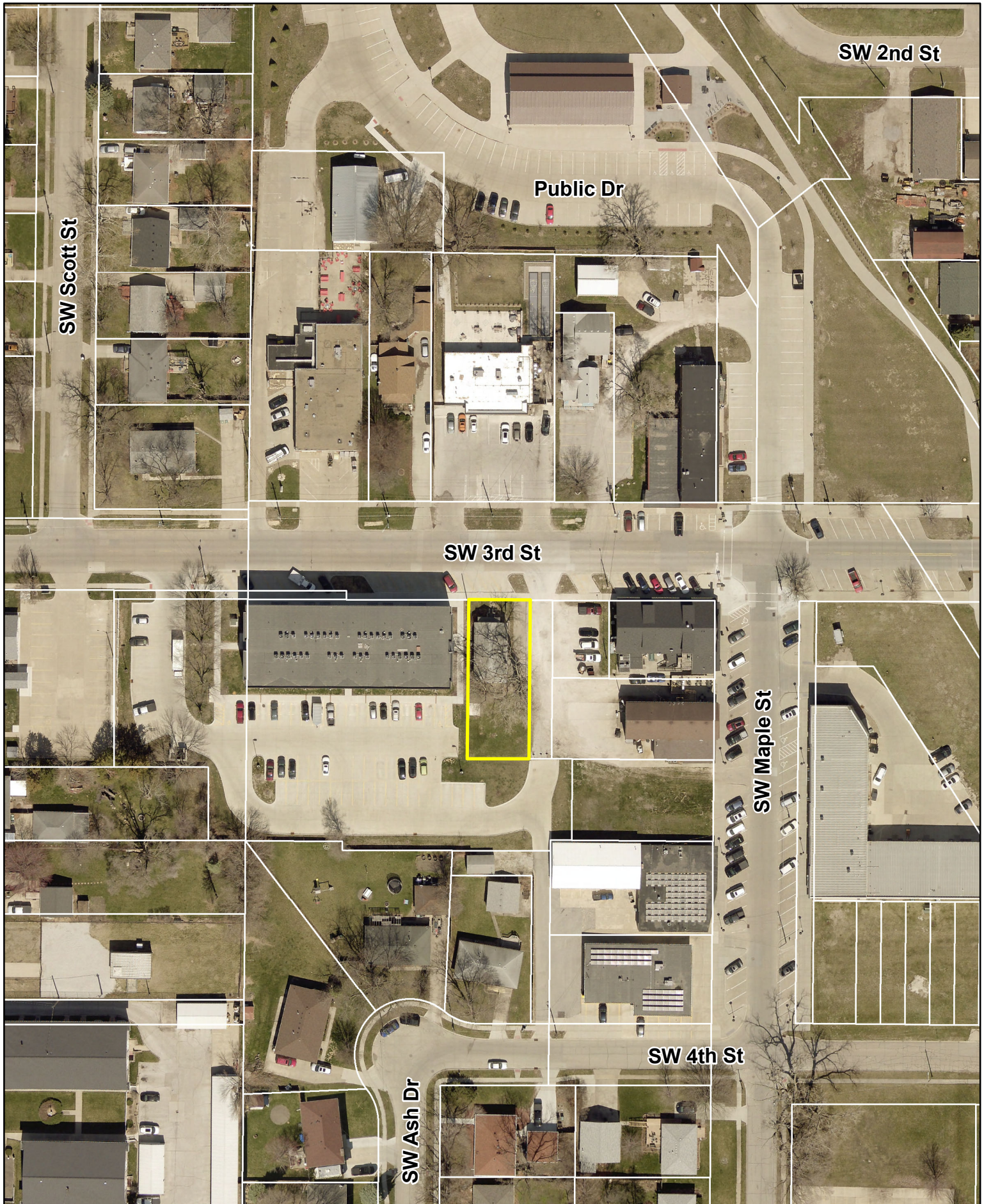
ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 709 SW 3rd Street, RE/MAX Precision Sales Office.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations



1 inch = 100 feet

Date: 6/1/2022

709 SW 3rd Street
RE/MAX Precision Sales Office





*Plan and Zoning Commission
Staff Report*

Meeting Date: July 6, 2022

Agenda Item: 709 SW 3rd Street – RE/MAX Precision Sales Office – Site Plan
Report Date: June 27, 2022
Prepared By: Derek Silverthorn
Associate Planner

ESC

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 709 SW 3rd Street, RE/MAX Precision Sales Office.

Project Summary:

The property at 709 SW 3rd Street is located south of SW 3rd Street and west of SW Maple Street, on Lot 17, Ankeny Village Plat 4. The 0.15-acre site is zoned C-2A, Central Business Commercial District; and is surrounded by properties to the north, east, south, and west which are zoned the same. The proposed development includes a two-story, 6,468 square-foot (+/-) RE/MAX Precision sales office with additional parking, alleyway paving, pedestrian connections, utility service connections, and associated site improvements.

Project Report:

The site will be accessed directly from SW 3rd Street via existing on-street parking. The adjacent alley will be paved, leading to one handicap parking stall located near the southeast corner of the building. A 6'8" sidewalk connection will be provided from the sidewalk along SW 3rd Street to the main entrance of the building, and 5' sidewalk will be provided from the handicap parking stall to a secondary entrance. The site, zoned C-2A, is exempt from parking requirements of the Code.

New utility service connections and stormwater management will be installed with this development. The site will continue to utilize the existing water service from the 8-inch water main along SW 3rd Street. A new 4-inch sanitary service will connect to the existing 8-inch sanitary sewer along SW 3rd Street, which will be utilized to carry wastewater easterly off-site along SW 3rd Street and into the Four Mile Interceptor. Stormwater for the proposed development will be directed northerly off-site through a series of storm sewer, outletting into Hawkeye Park Pond.

The proposed 6,468 square-foot building will be two stories tall with a maximum height of 28'2" to the uppermost point. The building will be entirely constructed of dark grey brick on the first story, with brick and portions of fiber cement paneling in light grey and wood tones on the second story. The north building elevation includes conceptual signage, but all signs will be approved through the sign permitting process.

**Site Plan Worksheet
709 SW 3rd Street
RE/MAX Precision Sales Office**

The site plan regulations in the zoning ordinance have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The site will be primarily accessed directly from SW 3rd Street, with the building entrance approximately 10 feet from the public sidewalk. The adjacent alley will be paved, leading to one handicap parking stall and a secondary building entrance located near the southeast corner of the building.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan conforms with the open space and parking requirements of the Code, and enhances the existing streetscape in the Uptown area.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site will be accessed from SW 3rd Street via existing on-street parking. The adjacent alley will be paved, leading to one handicap parking stall located near the southeast corner of the building. A 6'8" sidewalk connection will be provided from the sidewalk along SW 3rd Street to the main entrance of the building, and 5' sidewalk will be provided from the handicap parking stall to a secondary entrance.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site provides one access via the adjacent alley, which will be paved to accommodate one handicap parking stall.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

There are no minimum parking requirements for off-street parking and loading in the C-2A District; however, the applicant is proposing one handicap parking stall near the southeast corner of the building.

6. **Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There is not a trash enclosure or other outdoor storage area proposed on this site.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Stormwater for the proposed development will be directed northerly off-site through a series of storm sewer, outletting into Hawkeye Park Pond.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The site will continue to utilize the existing water service from the 8-inch water main along SW 3rd Street. A new 4-inch sanitary service will connect to the existing 8-inch sanitary sewer along SW 3rd Street, which will be utilized to carry wastewater easterly off-site along SW 3rd Street and into the Four Mile Interceptor.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

There is no minimum requirement for open space in the C-2A District.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

There is no new landscaping proposed on this site.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed 6,468 square-foot building will be a maximum height of 28'2" to the uppermost point. The scale and position of the proposed building is appropriate for its proximity to neighboring residential properties.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building will be entirely constructed of dark grey brick on the first story, with brick and portions of fiber cement paneling in light grey and wood tones on the second story. The proposed materials complement adjacent development in the Uptown District.

All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.

There is no rooftop mechanical equipment or other work areas to be screened on this site.

- 3. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one proposed building on this site, and the submitted elevations complement adjacent developments.

C. Signs

- 1. All signs shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

Signage shown is conceptual only, and any proposed sign designs and allowances will be determined with future sign permits.

- 2. Building signs shall be designed as an integral architectural element of the building.**

One building sign has been indicated on the submitted building elevations, and is conceptual only. Any proposed building sign designs and allowances will be determined with future sign permits.

- 3. Ground signs shall be designed to provide elements compatible with the building design and architectural elements.**

No ground sign has been indicated on the site plan, but any proposed ground sign design and allowance will be determined with future sign permits.

4. **Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

All signs submitted for permit in the future shall comply with Chapter 195: Signs.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

1. **Conformance to Design Standards and other applicable code requirements.**

The submitted plans generally conform to the written regulations of the City.

2. **Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The building meets all setbacks required by Code, and is complementary to adjacent development.

3. **Layout and utilization of building, parking, drive-ways, and open spaces.**

The paved alleyway and parking stall are appropriate for the site, and will not adversely affect traffic flow of vehicles and pedestrians.

4. **Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed 6,468 square-foot building will be a maximum height of 28'2" to the uppermost point. The building will be entirely constructed of dark grey brick on the first story, with brick and portions of fiber cement paneling in light grey and wood tones on the second story. The proposed scale and building materials complement adjacent development in the Uptown District.

5. **Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.

June 10, 2022

To: Derek Silverthorn
Community Development, Planning and Building
City of Ankeny

Re: 139 4th Street Renovation
West Des Moines, IA 50265

Owner/Applicant: RT Development, 2202 Woodlands Pkwy, Clive, IA 50325

Architect: Jamie Malloy, AIA, Studio MELEE, Owner

Mr. Silverthorn,

Studio Melee has worked with RT Development / REMAX Precision to design and design a 6,468 SF two-story office development along SW 3rd Street. We are submitting this letter detailing the project for AHJ approval to continue necessary project coordination and development.

The building is two story office space designed to fit within a narrow lot alongside recent developments along SW 3rd Street. Topping out at 28'-2", the structure is primarily clad in dark gray brick and capped with vertical fiber cement panels in light gray and wood tones. The overall volume steps back along the public facing side of the structure allowing for a modest rooftop deck with pavers and integrated and a raised green roof, both with roof drainage. The bulk of the structure is wood framed with open wood joists at the floor and roof. The raised green roof is supported by steel or laminated wood joists.

Windows are spaced regularly throughout and set in deep metal frames to provide protection from harsh sun angles and sill heights are set for flexible interior office layouts. These windows provide consistent datum lines for the project, informing areas of brick detailing, fiber cement material accents, and step-back volumes that we endeavored to keep consistent throughout.

The north elevation features the main entrance which joins the existing sidewalk running alongside SW 3rd Street. A direct view is provided to the primary building entry with a glass entry door flanked by windows sitting inside a recessed alcove. Brick detailing wraps the lower level between openings, and this continues to the public facing windows of the conference room. The increased volume provided by the raised green roof provides a backdrop for building signage. Sitting beyond, a bank of glass windows provide natural daylight to the lobby stair which leads up to the rooftop deck.

The east elevation shows the stepped back volume at the north side of the building. The brick base and detailing continues along this façade, as well as providing a guardrail detail for the rooftop deck. At the upper level, the structure is wrapped in complimentary fiber cement panels that wrap into the rooftop deck volume and the glass access door. At the south end of the building, a rear exit is tucked under canopy cover.

The south elevation primarily features the rear exit stair clad with brick and narrow windows to filter direct sunlight, as well as respecting neighbors to the south. At the second level, fiber cement panels wrap the corner and terminate above the exiting canopy.

The west elevation mirrors many of the same strategies of the east with respect to existing, adjacent structures. Brick detailing is reduced, and the second level volume extends fully past the rooftop deck to separate light and noise.

Thank you for your consideration and the attention given to this project. Please feel free to reach out at (319) 231-9728 or tyler@studiomelee.com if you have any questions or comments concerning this submission or if you require more information.

Respectfully submitted,



Tyler Chalstrom, Assoc. AIA Studio Melee

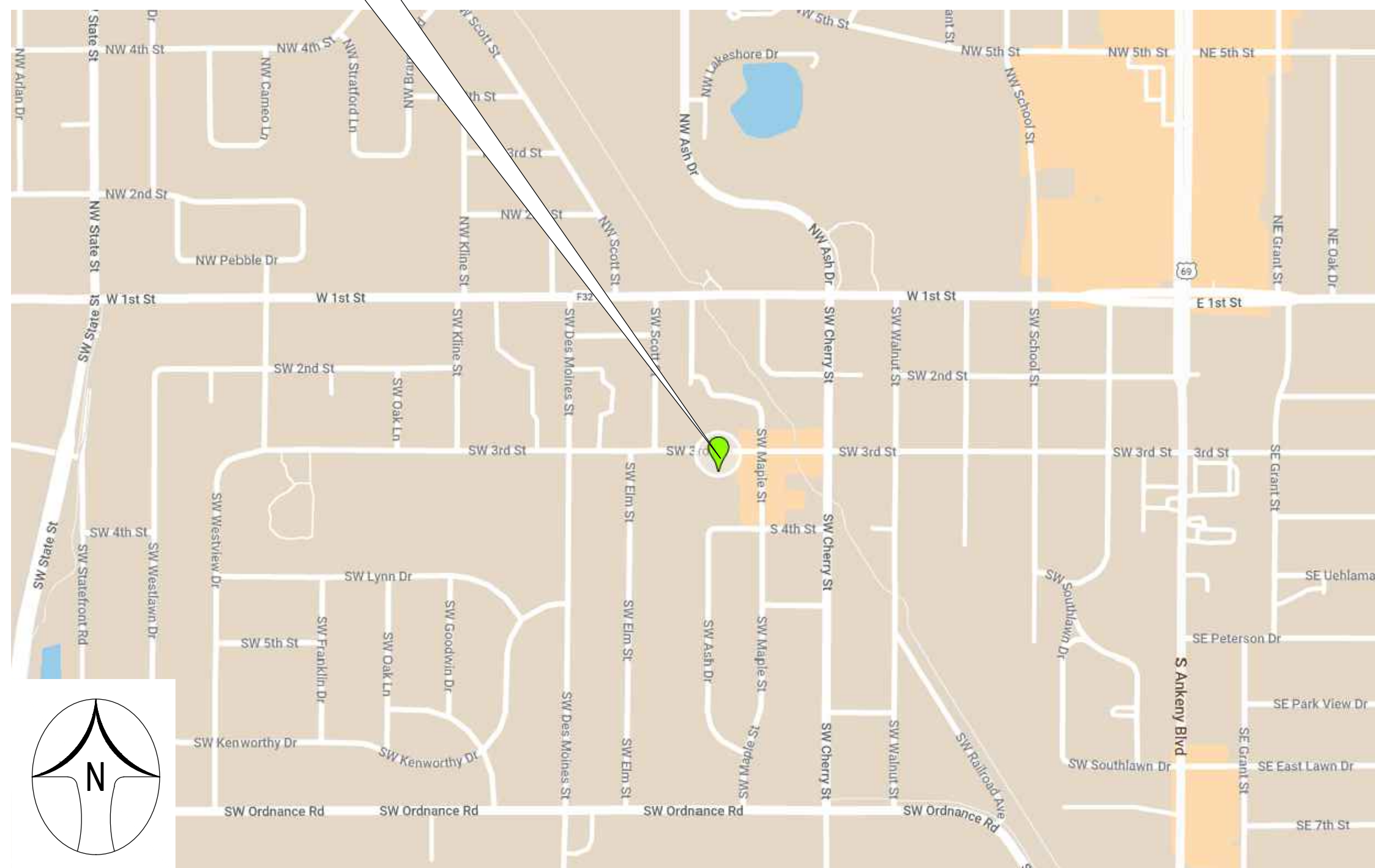
RE/MAX PRECISION - NEW SALES OFFICE

RE/MAX PRECISION

RE/MAX PRECISION
709 SW 3RD STREET
ANKENY, IA 50023

NTS

LOCATION
709 SW 3RD STREET
ANKENY, IA 50023



INDEX OF DRAWINGS

T	CIVIL TITLE SHEET
C0	TOPOGRAPHIC SURVEY
C1	EXISTING CONDITIONS AND DEMOLITION PLAN
C2	PAVING PLAN
C3	GRADING AND EROSION CONTROL PLAN
C4	UTILITY PLAN
C5	CIVIL DETAILS
C6	CIVIL DETAILS

PROJECT CONTACTS

OWNER/APPLICANT:
RT DEVELOPMENT
2202 WOODLANDS PARKWAY
CLIVE, IA 50325
CONTACT: TRAVIS MOULTON
TEL: 515.494.1066
EMAIL: TRAVIS@PRECISIONDSM.COM

SURVEYOR:
CARTER SURVEYING &
CONSTRUCTION SERVICES, LLC
8755 NE 27TH AVE.
ALTOONA, IA 50009
CONTACT: NICK CARTER, PLS
TEL: 515.343.6756
EMAIL: NICK@CARTERSURVEY.COM

ARCHITECT:
STUDIO MEELE
139 FOURTH STREET
WEST DES MOINES, IA 50265
CONTACT: JAMIE MALLOY, AIA, LEED AP
TEL: 515.314.9852
EMAIL: JAMIE@STUDIOMELEE.COM

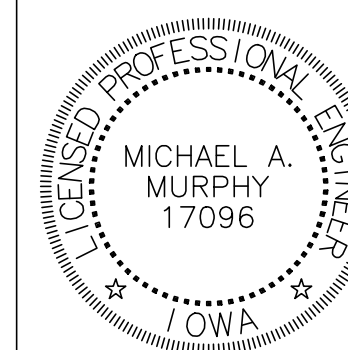
CIVIL ENGINEER:
LARSON ENGINEERING, INC.
1001 OFFICE PARK ROAD, STE 120
WEST DES MOINES, IA 50265
CONTACT: MICHAEL A. MURPHY, P.E.
TEL: 515.225.4377
EMAIL: MMURPHY@LARSONENGR.COM

PARCEL LEGAL DESCRIPTIONS AND BENCHMARKS

LEGAL DESCRIPTION

THE NORTH 130 FEET OF LOT 9 IN THOMAS 2ND ADDITION TO ANKENY,
NOW INCLUDED IN AND FORMING A PART OF THE TOWN OF ANKENY,
POLK COUNTY, IOWA, NOW DESCRIBED AS LOT 17 IN ANKENY VILLAGE
PLAT FOUR, AN OFFICIAL PLAT IN THE TOWN OF ANKENY, IOWA.

BM#1
PK NAIL IN THE TOP OF CURB ON THE EST SIDE OF THE ENTRANCE OFF
OF 3RD STREET.
NORTHING: 630176.28
EASTING: 1610634.41
ELEVATION: 892.91



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE & DATE

PRINTED OR TYPED NAME MICHAEL A. MURPHY

LICENSE NUMBER	17096
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MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023

PAGES OR SHEETS COVERED BY THIS SEAL: "C" SHEETS



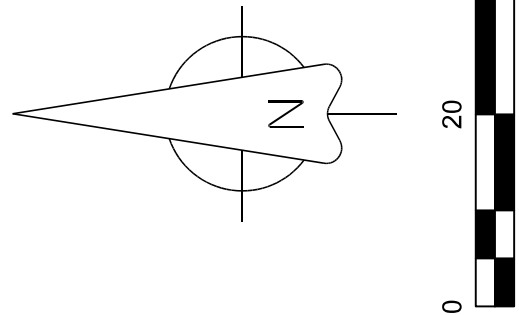
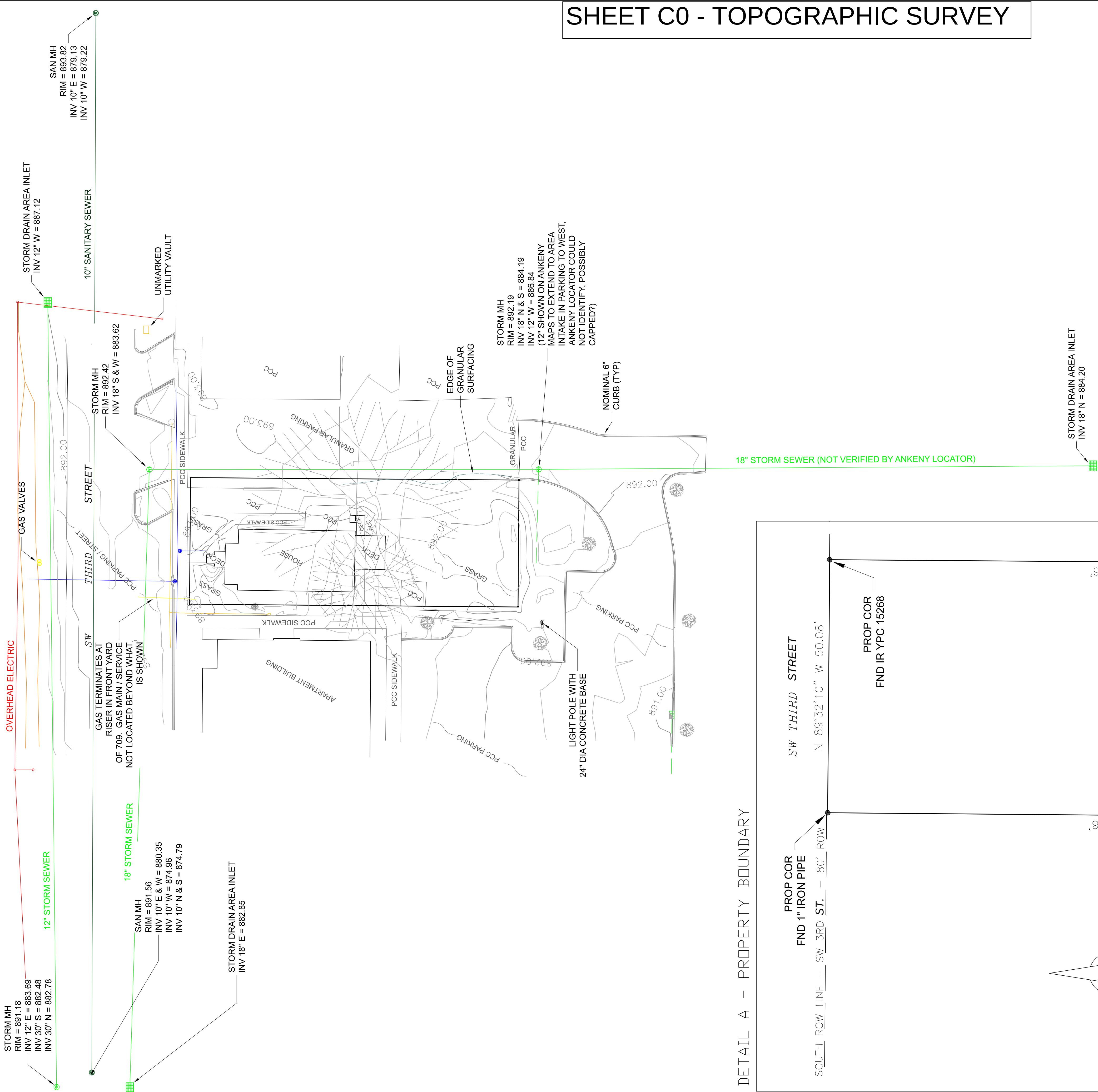
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PRINT DATE: 15 JUNE 2022
SHEET NAME: CIVIL
SHEET TITLE: SHEET

T

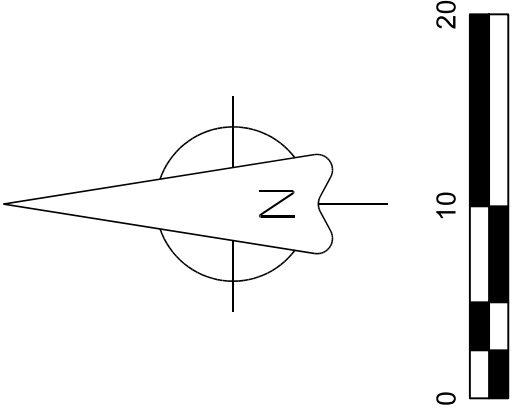
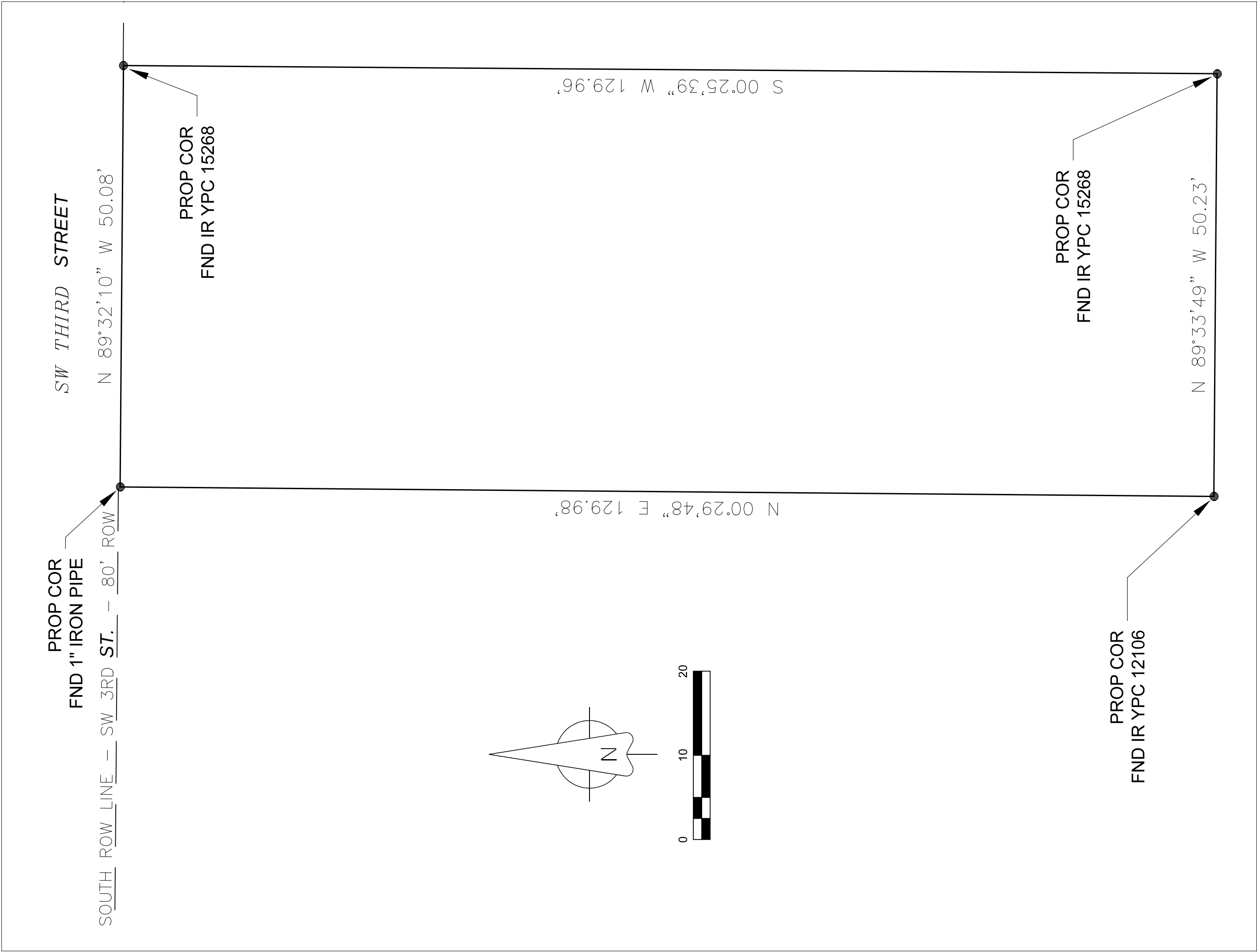
PRELIMINARY NOT FOR CONSTRUCTION

SHEET C0 - TOPOGRAPHIC SURVEY



SURVEY NOTES:
1. GAS LOCATE WAS LISTED AS "MARKED", HOWEVER, FIELD MARKINGS WERE FADED AND GAS MAIN WAS NOT IDENTIFIED.

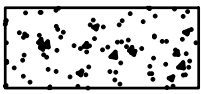
DETAIL A - PROPERTY BOUNDARY



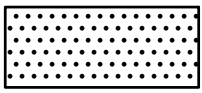
CARTER SURVEYING & CONSTRUCTION SERVICES, LLC 8755 NE 27TH AVE. ALTOONA, IA 50009 515-343-6756	UTILITY LEGEND --SS-- STORM SEWER --SAN-- SANITARY SEWER --W-- WATER --OHE-- OVERHEAD ELECTRIC --CDM-- COMMUNICATION LINE --F-- FENCE	TOPOGRAPHIC SURVEY - 709 SW 3RD LOT 9 IN BLOCK 1 OF THOMAS 2ND ADDITION TO ANKENY ANKENY, POLK COUNTY, IA		
		BENCHMARK:	PAGE 1 OF 1	REVISIONS: 1/21/2022: UPDATED BOUNDARY
		DRAWN DATE: 4-15-2022	DRAWN BY: N. Carter	SCALE: 1" = 20'

SW THIRD STREET

SYMBOL LEGEND



REMOVE AND DISPOSE OF EXISTING
CONCRETE PAVEMENT SECTION



REMOVE AND DISPOSE OF EXISTING GRAVEL
PAVEMENT SECTION.

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Iowa One Call (800-292-8989) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. All construction materials, dumpsters, detached trailers, or similar items are prohibited on public streets or within the public right-of-way.

KEY NOTES

- ① REMOVE AND DISPOSE OF EXISTING TREE.
- ② REMOVE AND DISPOSE OF EXISTING TRAFFIC SIGNS AND FOOTINGS (IF APPLICABLE).

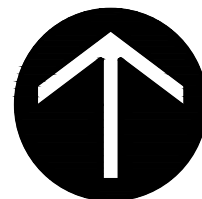
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STUDIO MELEE
139 FOURTH STREET
WEST DES MOINES, IOWA 50265

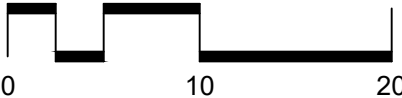
RE/MAX PRECISION
709 SW 3RD STREET
ANKENY, IA 50023
COMMERCIAL BUILDING

PRINT DATE:
15 JUNE 2022
SHEET NAME:
EXISTING CONDITIONS AND
DEMOLITION PLAN

C1



NORTH



Larson Engineering, Inc.
1001 Office Park Rd, Suite 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com
LEI PROJECT #: 92220052.000

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PRELIMINARY NOT FOR CONSTRUCTION

SW THIRD STREET

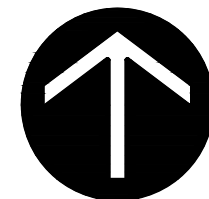
SYMBOL LEGEND

- NEW 5" BITUMINOUS PAVEMENT OVER
NEW 8" BASE AGGREGATE
SEE DETAIL 4/C5.0
- NEW 6" CONCRETE OVER 6" BASE
AGGREGATE. SEE DETAIL 2/C5.0
- NEW 5" CONCRETE OVER 6" BASE
AGGREGATE. SEE DETAIL 1/C5.0

WHERE APPLICABLE, DIMENSIONS ARE FROM
BACK OF CURB TO BACK OF CURB OR BACK OF
CURB TO END OF STALL LINE.

SITE DATA

SITE AREAS	
EXISTING:	0.150 AC (6,518 S.F.)
PROPOSED:	0.150 AC (6,518 S.F.)
BUILDING AREAS	
EXISTING:	1,196 S.F.
PROPOSED:	3,468 S.F. +2,272 S.F.
IMPERVIOUS SURFACES	
EXISTING BUILDINGS:	1,196 S.F.
EXISTING PARKING, SIDEWALK, AND DRIVES:	1,064 S.F. 2,260 S.F. (34.7%)
PROPOSED BUILDINGS:	3,921 S.F.
PROPOSED PARKING AND DRIVES:	536 S.F. 4,457 S.F. (68.4%)
PARKING SPACES REQUIRED: (NO MINIMUM OFF-STREET FOR C-2A)	
PARKING SPACES PROVIDED:	0 STALLS 1 STALL (ADA STALL)
SETBACK REQUIREMENTS:	
FRONT YARD:	NO MINIMUM
SIDE YARD:	NO MINIMUM (10' WHEN ADJOINING 'R' DISTRICT)
REAR YARD:	NO MINIMUM (10' WHEN ADJOINING 'R' DISTRICT)
ERU CALCULATION:	
	4,457SF / 4000SF 2 ERU



NORTH



Larson
Engineering, Inc.
1001 Office Park Rd, Suite 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com
LEI PROJECT #: 92220052.000

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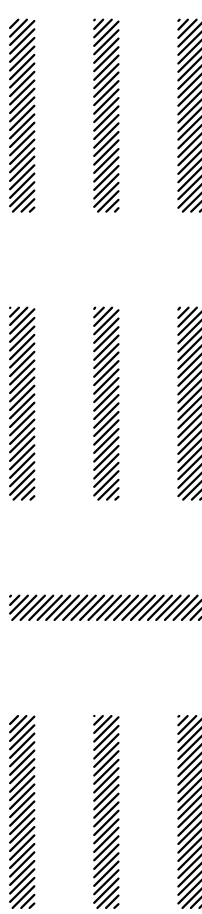
PRELIMINARY NOT FOR CONSTRUCTION

PRINT DATE:
15 JUNE 2022
SHEET NAME:
PAVING PLAN

RE/MAX PRECISION
709 SW 3RD STREET
ANKENY, IA 50023
COMMERCIAL BUILDING

STUDIO MELEE
139 FOURTH STREET
WEST DES MOINES, IOWA 50265

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RE/MAX PRECISION
709 SW 3RD STREET
ANKENY, IA 50023
COMMERCIAL BUILDING

PRINT DATE:
15 JUNE 2022
SHEET NAME:
PAVING PLAN

C2

SW THIRD STREET

LEGEND

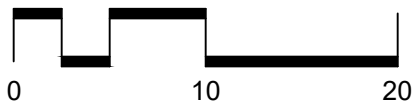
--- 950 --- EXISTING CONTOURS
--- 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
--- 949 --- PROPOSED CONTOURS - MINOR INTERVAL
--- GRADE BREAK LINE
--- GRADE SLOPE
2.0%
SILT FENCE
RIP-RAP / ROCK CONST. ENTRANCE
INLET PROTECTION
CONCRETE WASHOUT STATION
SPOT ABBREVIATIONS:
TC - TOP OF CURB
GL - GUTTER LINE
B - BITUMINOUS
C - CONCRETE
EO - EMERGENCY OVERFLOW
TW - TOP OF WALL
BW - BOTTOM OF WALL (F/G)
(*) - EXISTING TO BE VERIFIED

GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed areas with 4" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

EROSION CONTROL NOTES

1. Owner and Contractor shall obtain Iowa DNR-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
9. All riprap shall be installed with a filter material or soil separation fabric and comply with the Iowa Department of Transportation Standard Specifications.
10. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
11. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
12. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
13. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
15. All soils tracked onto pavement shall be removed daily.
16. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
17. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with Iowa DNR disposal requirements.
18. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with Iowa DNR regulations.
19. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
20. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with Iowa DNR regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
21. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.



Larson Engineering, Inc.
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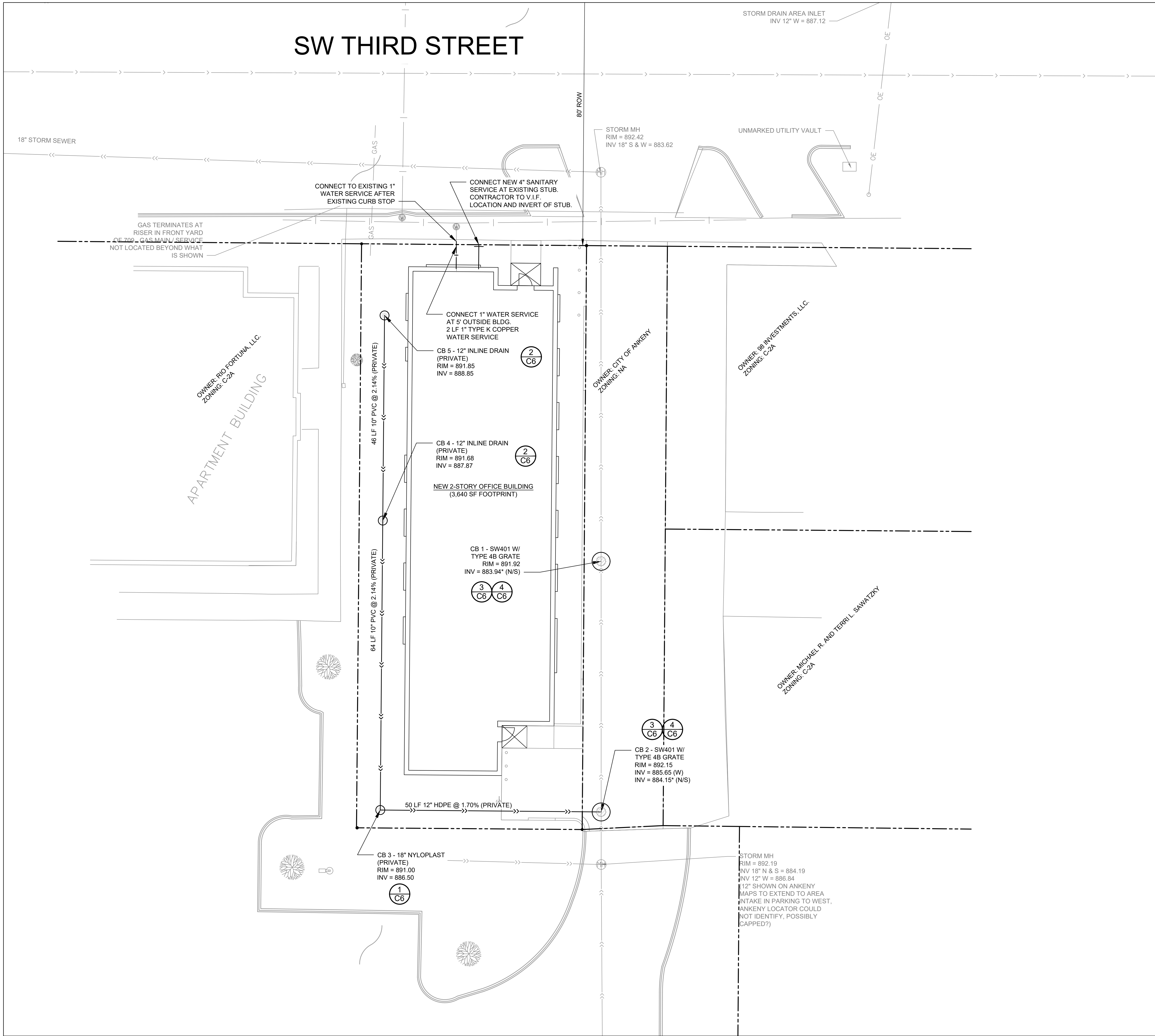
PRINT DATE:
15 JUNE 2022
SHEET NAME:
GRADING AND EROSION
CONTROL PLAN

RE/MAX PRECISION
709 SW 3RD STREET
ANKENY, IA 50023

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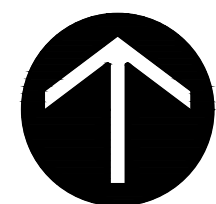


LEGEND

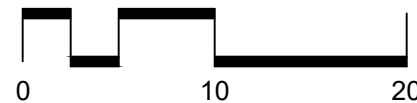
	STORM MANHOLE
	CATCH BASIN
	CURB INLET
	FLARED END
	SANITARY MANHOLE
	HYDRANT
	GATE VALVE & BOX
	WATER SHUTOFF
	LIGHT POLE
	CTV
	CABLE UNDERGROUND LINE
	ELECTRIC OVERHEAD LINE
	ELECTRIC UNDERGROUND LINE
	FIBER OPTIC UNDERGROUND LINE
	NATURAL GAS UNDERGROUND LINE
	SANITARY SEWER PIPE
	STORM SEWER PIPE
	TELEPHONE UNDERGROUND LINE
	WATERMAIN PIPE
	DRAINTILE PIPE

UTILITY NOTES

- All work performed shall meet the standards outlined by these plans, as well as, the 2022 Statewide Urban Design and Specifications (SUDAS) standard specifications and the City of Ankeny SUDAS Supplemental Specifications.
- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Maintain a minimum of 5' of cover over all water lines and sanitary sewer lines. Install water lines 18" above sanitary sewers, where the sanitary sewer crosses over the water line, install sewer piping of materials equal to watermain standards for 9 feet on both sides and maintain 18" of separation.
- Where 5' of cover is not provided over sanitary sewer and water lines, install 2" rigid polystyrene insulation with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation.
- See SUDAS Section 3010-2.02 for bedding requirements.
- Pressure test and disinfect all new watermain in accordance with state and local requirements.
- Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.
- Manhole castings in pavement shall be East Jordan 3025 self-leveling castings.



NORTH



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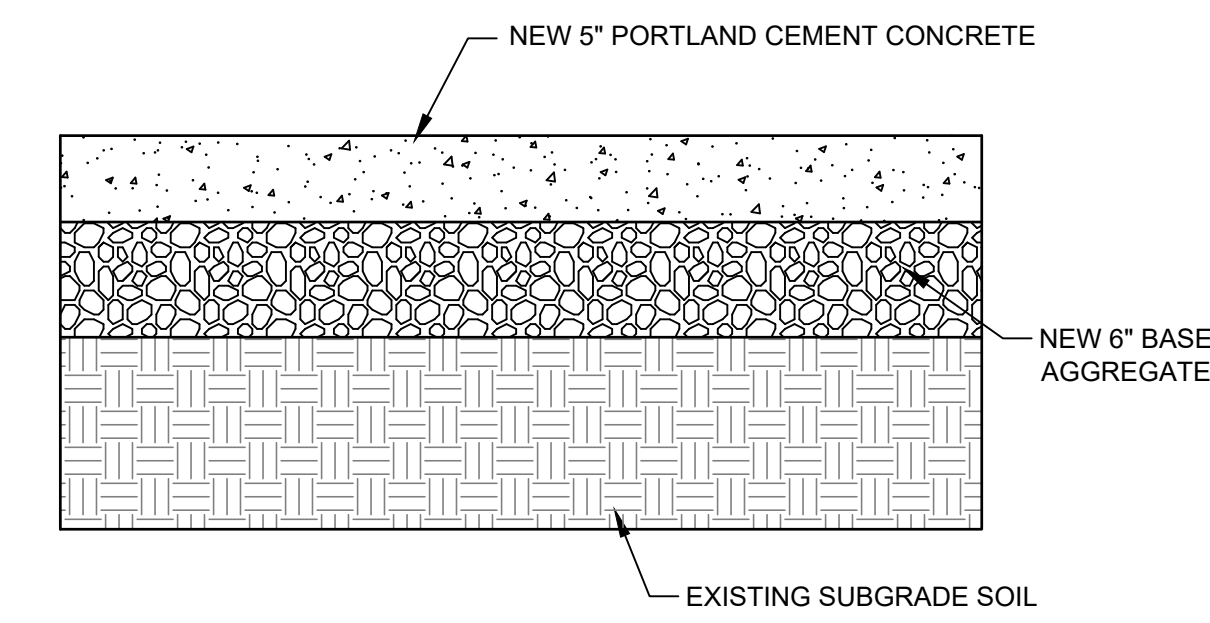
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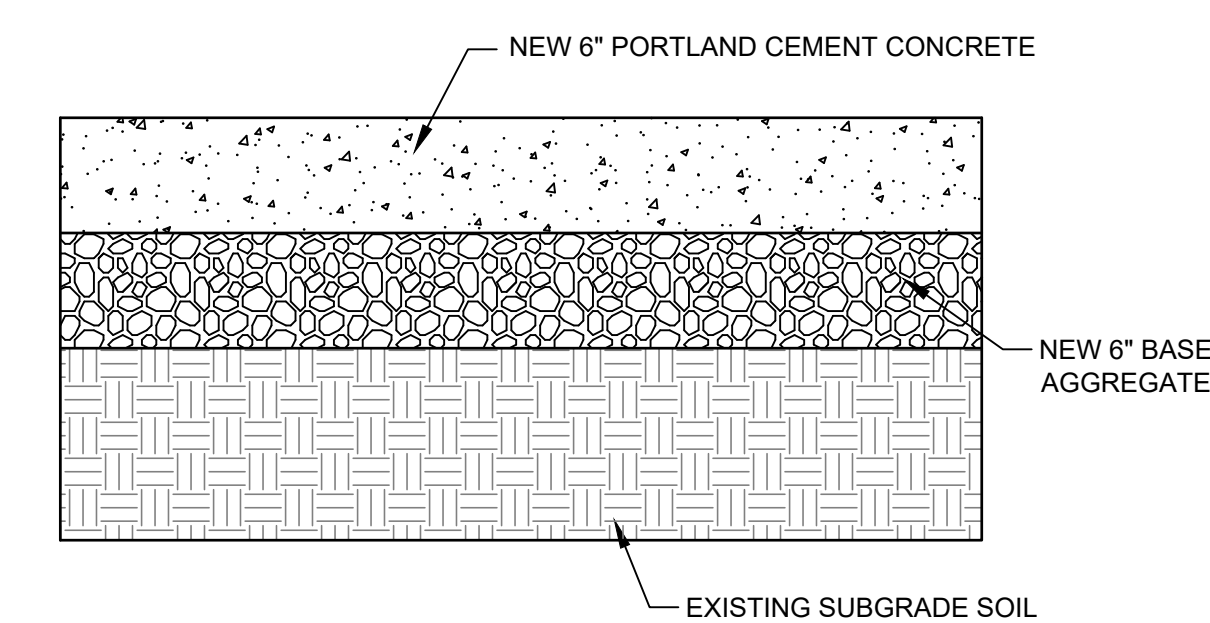
RE/MAX PRECISION
709 SW 3RD STREET
ANKENY, IA 50023
COMMERCIAL BUILDING

PRINT DATE:
15 JUNE 2022
SHEET NAME:
UTILITY PLAN

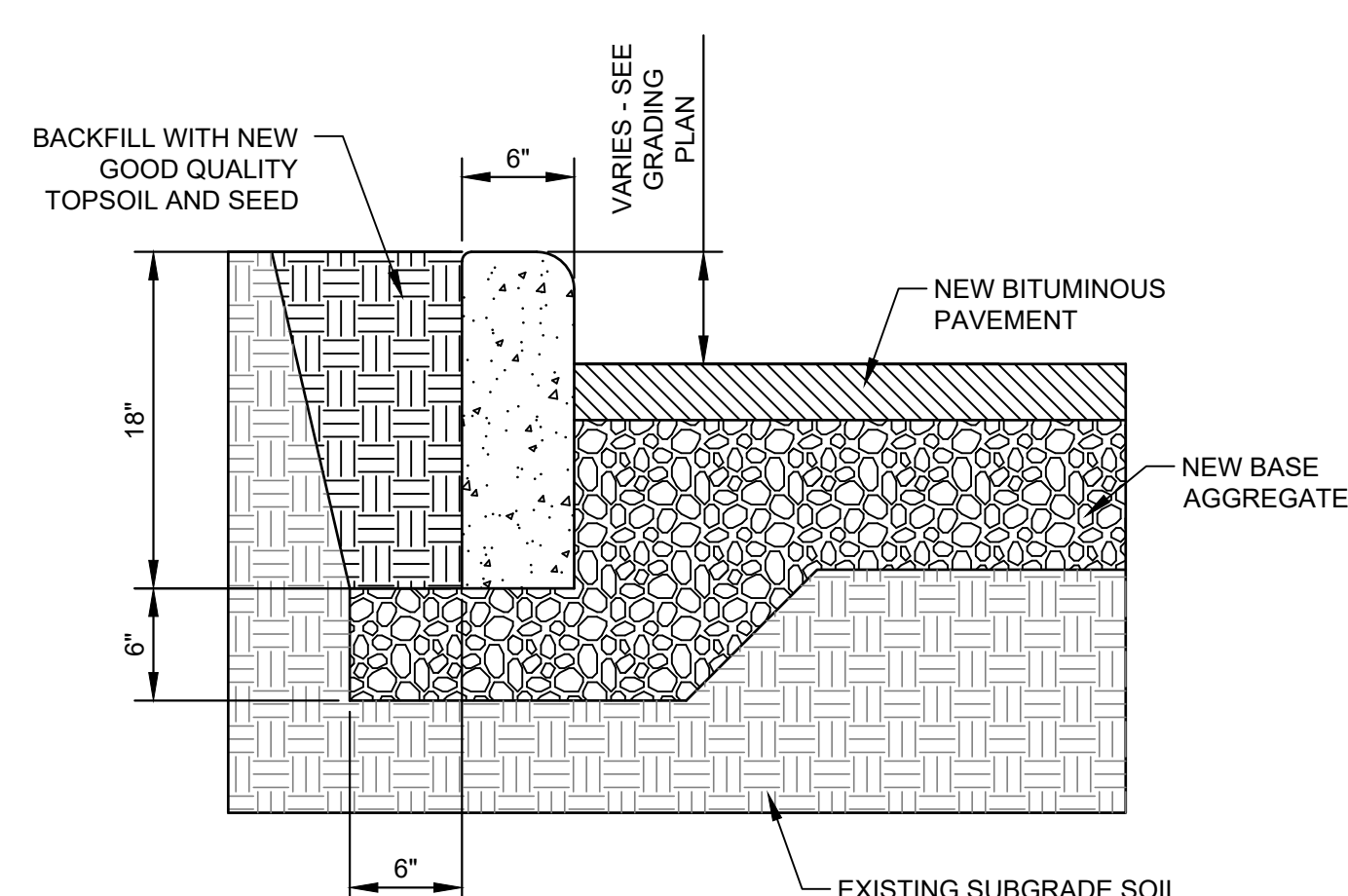
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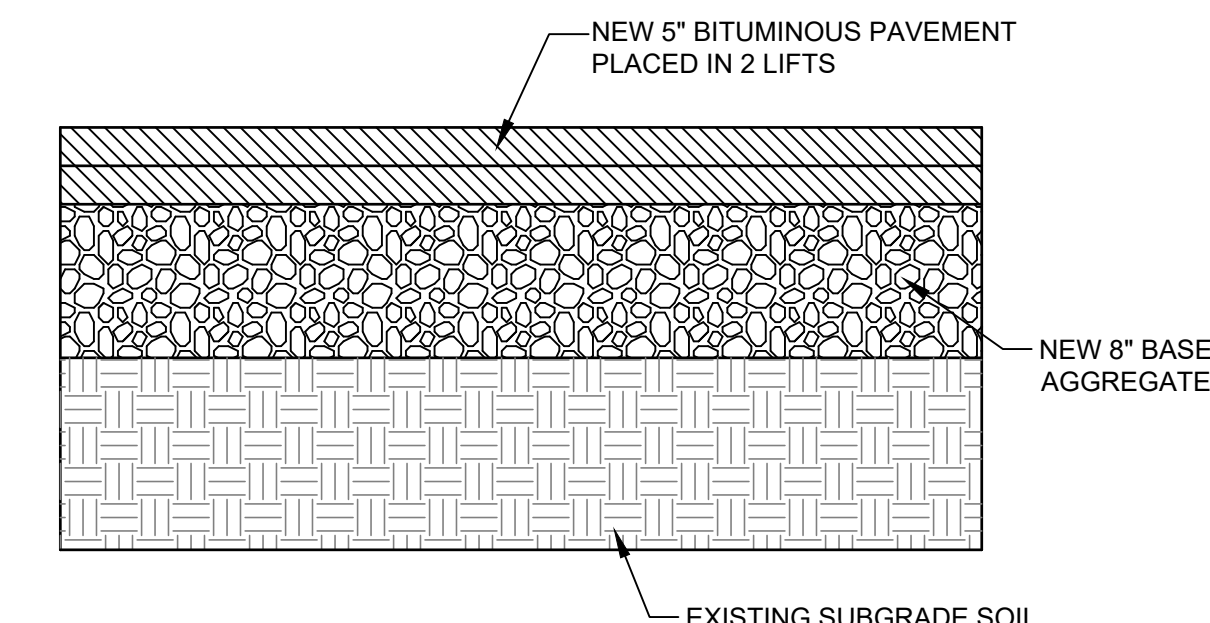
1
C5
**SIDEWALK
CONSTRUCTION DETAIL**
NOT TO SCALE



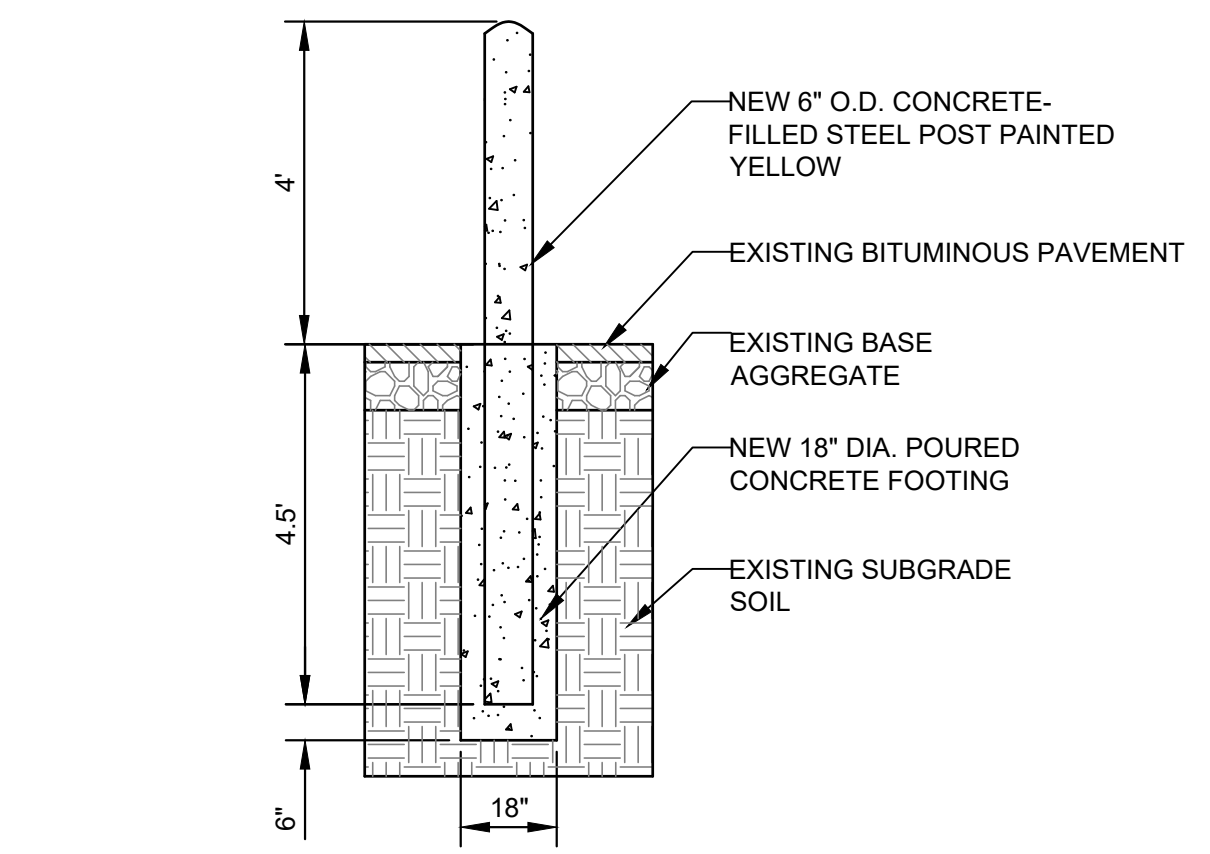
2
C5
**MEDIUM-DUTY CONCRETE
CONSTRUCTION DETAIL**
NOT TO SCALE



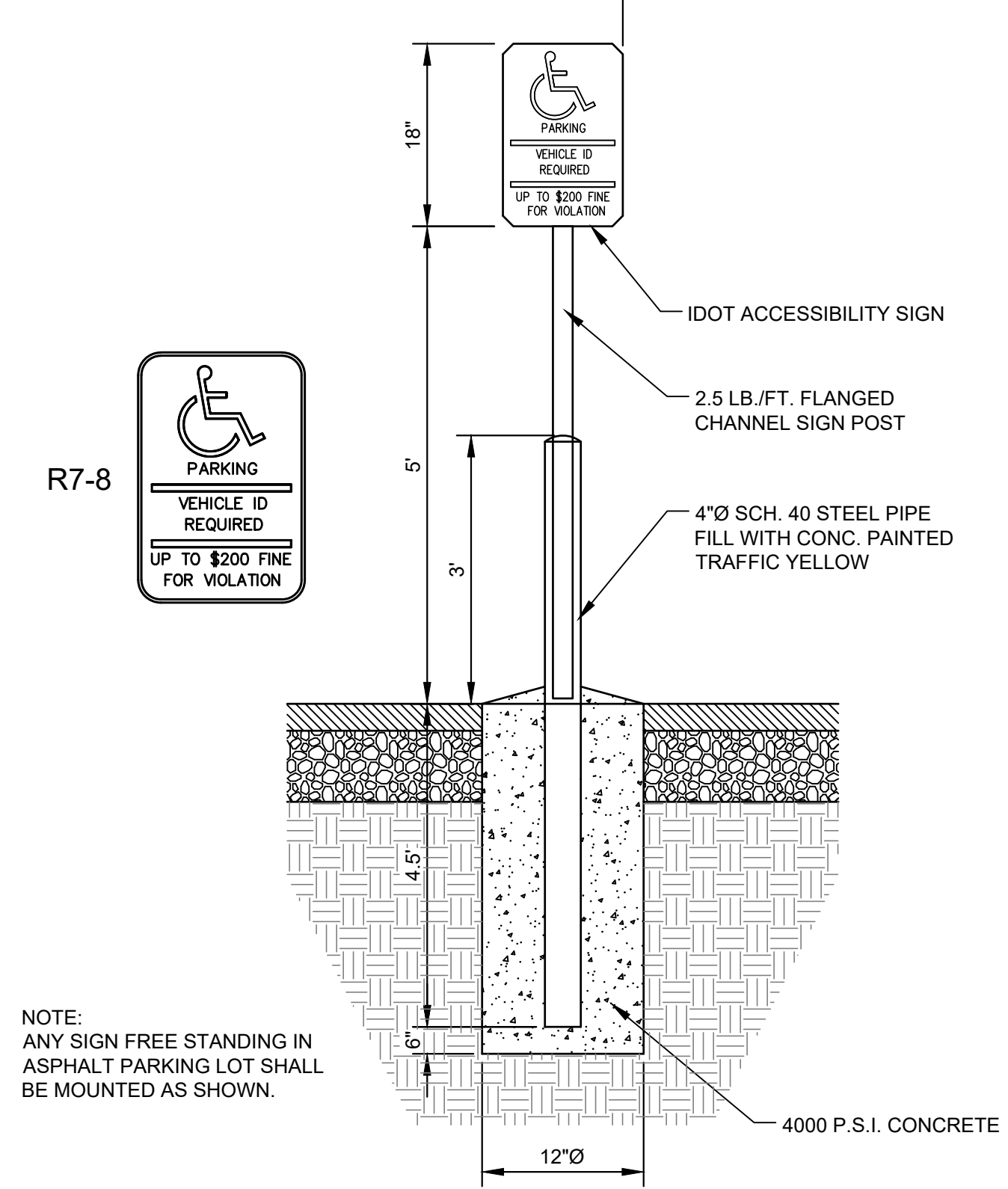
3
C5
BULKHEAD CURB DETAIL
NOT TO SCALE



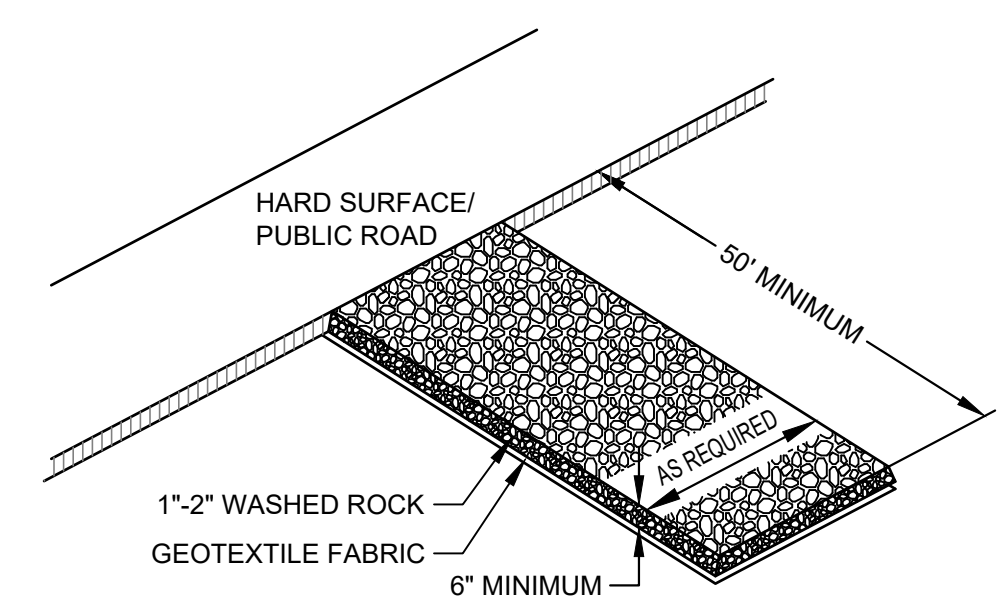
4
C5
**MEDIUM-DUTY BITUMINOUS
PAVEMENT SECTION**
NOT TO SCALE



5
C5
BOLLARD DETAIL
NOT TO SCALE

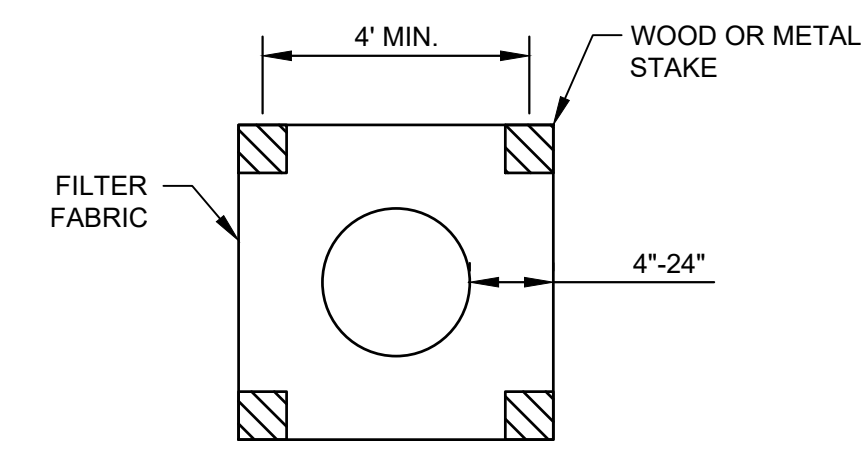


6
C5
**ACCESSIBLE PARKING
SIGN AND POST DETAIL**
NOT TO SCALE



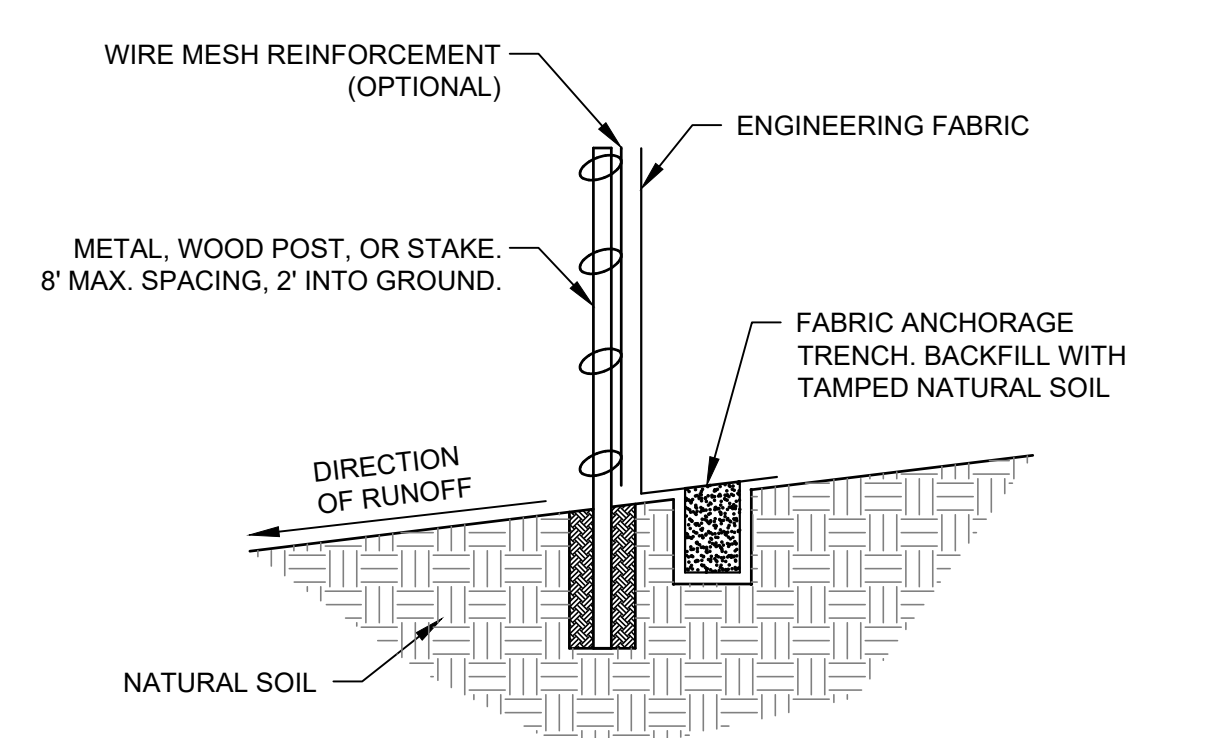
7
C5
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE

NOTE: FOR EXISTING CATCH BASINS IN PAVEMENT AREAS, SAND BAGS, AGGREGATE WRAPPED IN FILTER FABRIC, OR SEDIMENT TRAPS SHOULD BE USED.



MAXIMUM DISTANCE BETWEEN POSTS IS 2'. BOTTOM OF FENCE IS BURIED IN TRENCH, SIMILAR TO NORMAL SILT FENCE INSTALLATION.

8
C5
**SILT FENCE INLET
SEDIMENT FILTER**
NOT TO SCALE



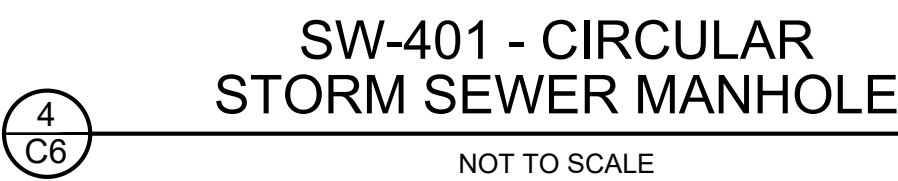
NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH WIRES, OR WOOD POSTS WITH STAPLES.

9
C5
**SILT FENCE
INSTALLATION DETAIL**
NOT TO SCALE

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	MATERIAL ALLOCATION BY PERCENTAGE			
	NORTH	SOUTH	EAST	WEST
PRIMARY MATERIALS	72%	85%	69%	66%
SECONDARY MATERIALS	28%	15%	31%	34%

MATERIAL KEYNOTES	
#	MATERIAL
1	BRICK, FLEMISH BOND, MODULAR
2	BRICK PROTRUDING DETAIL
3	BRICK SCREEN DETAIL, 'HIT AND MISS BRICK WALL'
4	BRICK, SOLDIER COURSING DETAIL
5	8" VERTICAL SIDING, FIBER CEMENT [STONE GRAY]
6	4" LAP SIDING, FIBER CEMENT [MAIZE]
7	STOREFRONT
8	PROTRUDING METAL FRAME, TYP. Ø OPENINGS
9	PREFINISHED METAL FASCIA AND CANOPY
10	BUILDING SIGNAGE, ANCHORED IN RECESSED BRICK



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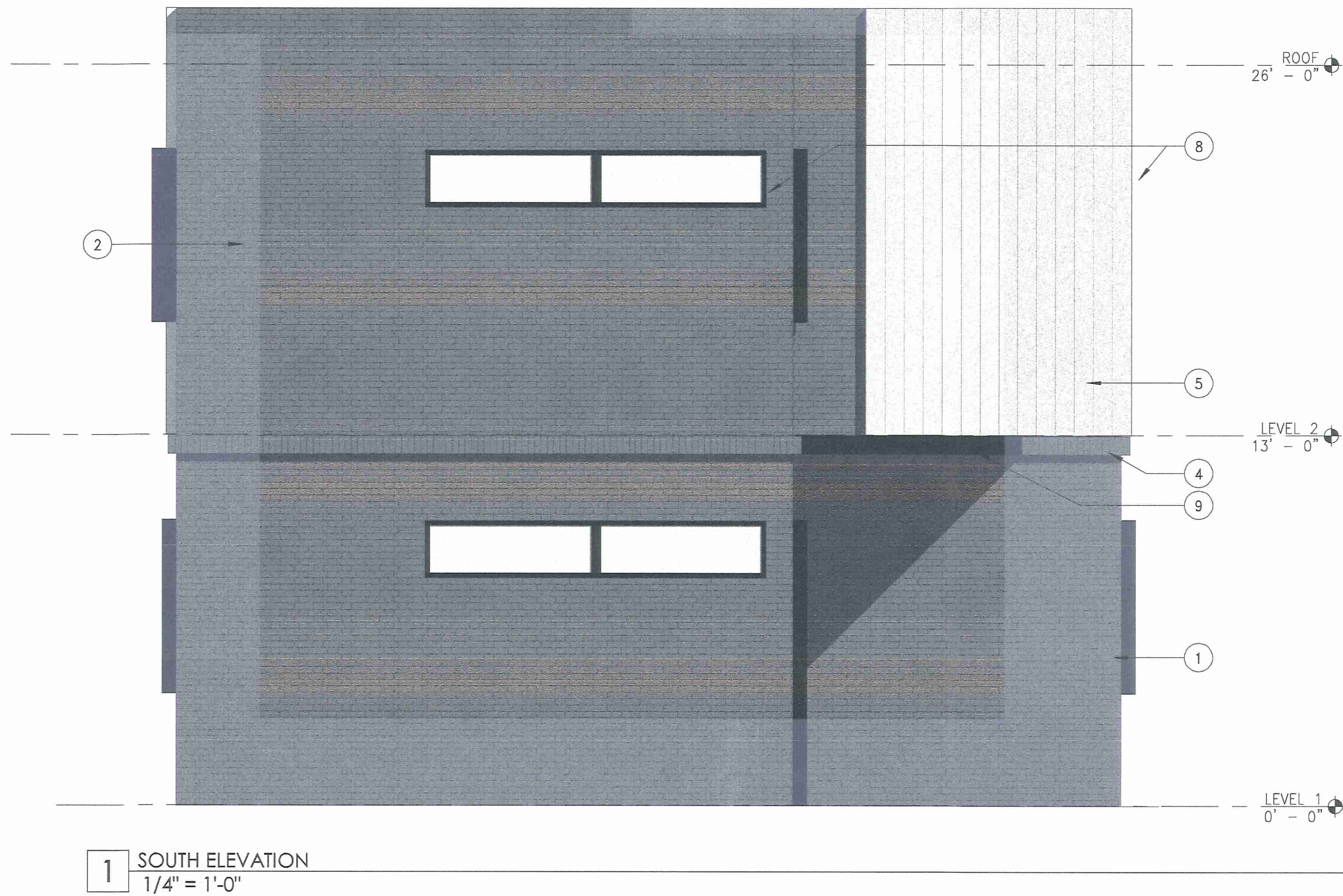
REMAX PRECISION
ANKENY OFFICE DEVELOPMENT

PRINT DATE:
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SHEET NAME:
EXTERIOR ELEVATIONS

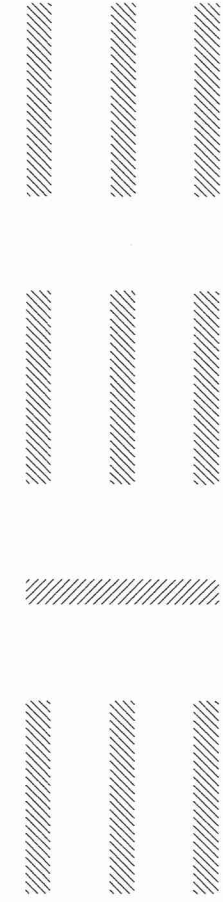
A2.1

	MATERIAL ALLOCATION BY PERCENTAGE			
	NORTH	SOUTH	EAST	WEST
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9	PREFINISHED METAL FASCIA AND CANOPY
10	BUILDING SIGNAGE, ANCHORED IN RECESSED BRICK



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WEST DES MOINES, IOWA 50265

REMAX PRECISION
ANKENY OFFICE DEVELOPMENT

PRINT DATE:
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SHEET NAME:
EXTERIOR ELEVATIONS

A2.2



PLAN AND ZONING COMMISSION

July 6, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Pheasant Trail Plat 1 Preliminary Plat

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

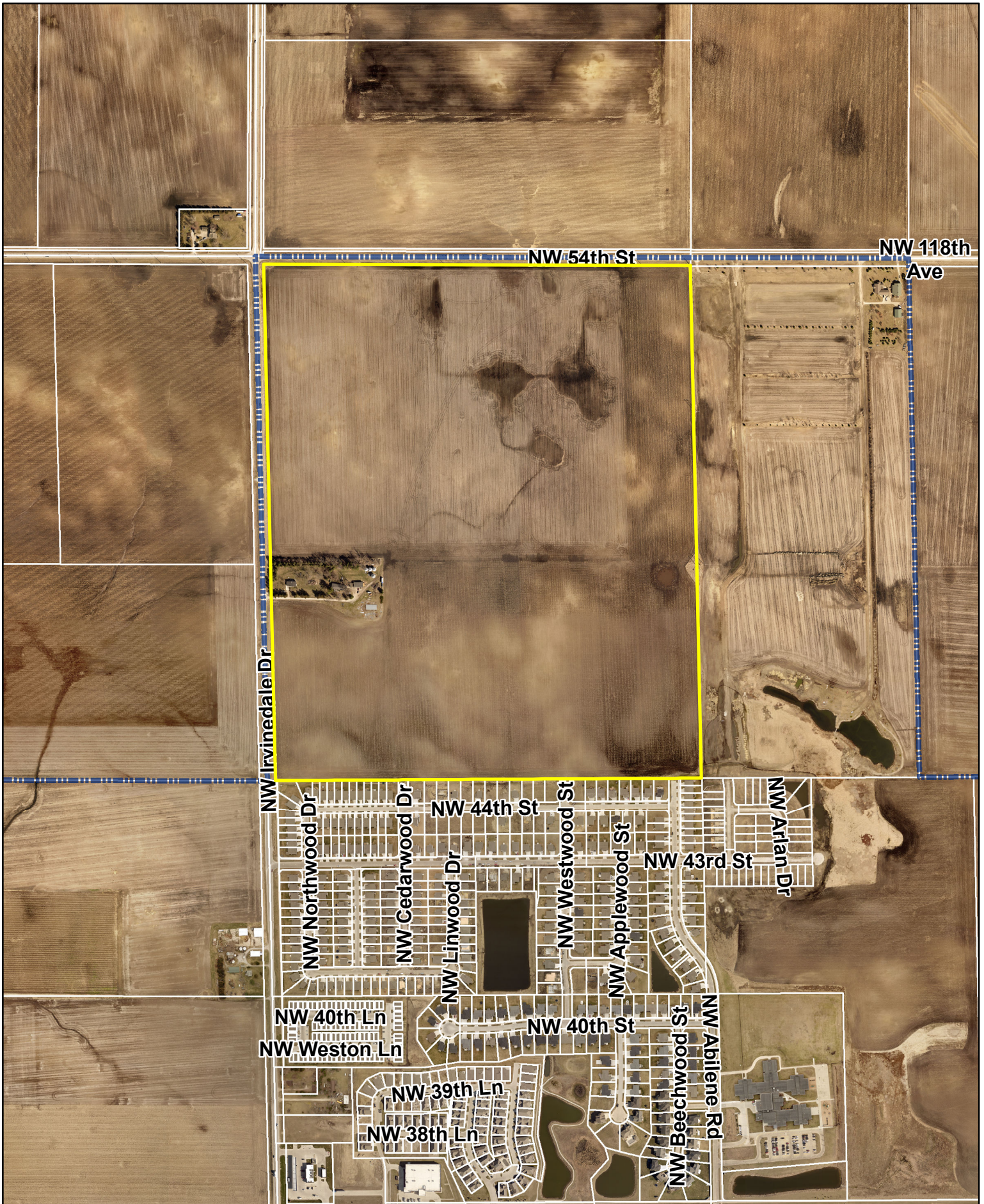
ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the Pheasant Trail Plat 1 Preliminary Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Map
	Staff Report
	Applicant Letter
	Preliminary Plat



N



1 inch = 750 feet

Date: 6/29/2022

Pheasant Trail Plat 1 - Preliminary Plat



*Plan and Zoning Commission
Staff Report*

Meeting Date: July 6, 2022

Agenda Item: Pheasant Trail Plat 1 – Preliminary Plat
Report Date: June 30, 2022
Prepared By: Bryan Morrissey *ESL*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of the Pheasant Trail Plat 1 Preliminary Plat.

Project Summary:

Pheasant Trail Plat 1 is an approximate 21.22-acre (+/-) preliminary plat generally located south of NW 54th Avenue and east of NW Irvinedale Drive, within the northwestern quadrant of Ankeny. The preliminary plat includes the creation of 58 single-family lots, one outlot for stormwater detention, and the extension of multiple public streets that had previously stopped south of the project area. An additional outlot is located near the northeast corner of the site that will remain undeveloped due to size constraints. The subject area was rezoned in early 2022 as part of the Moeckly Planned Unit Development, and generally aligns with the rules and regulations set forth in the PUD book. NW State Street will border the development to the north in the future when it's extended, and the single-family lots that back up to NW State Street will be screened via a landscape buffer.

Project Report:

Streets: At the time of construction, the proposed development will be accessed exclusively from the Brinmore Estates development to the south; however, additional access will come from NW State Street once it's extended. The development includes the extensions of NW Abilene Road and NW Westwood Street, and also creates NW 45th, 46th, 47th, and 48th Streets. Five-foot wide sidewalks will be installed throughout the majority of the development, with the exception being on the east side of NW Abilene Road where an eight-foot wide trail will be installed.

Water: The extension of water services will come via the Brinmore Estates development on the south end of the development, and will extend a ten-inch water main along NW Abilene Road. Eight-inch water mains will be installed throughout the remainder of the development.

Sewer: Sanitary services will be installed by connecting to the sanitary mains near the south end of the proposed development. Twelve-inch mains will be installed along NW Abilene Road and NW 48th Street, while eight-inch sanitary lines will be extended throughout the remainder of the development.

Drainage: Stormwater on the site will generally flow from the northwest to the southeast, similar to how the undeveloped site drains currently. A wet-bottom detention pond will be located on Outlot 'Z' and will discharge near the SE corner of the development.

Parkland: Dedication for parkland will happen when future development occurs, as space for parkland is anticipated to be dedicated on the north side of future NW State Street.



Civil Engineering Consultants, Inc.

June 24, 2022

ATTN: Members of Plan and Zoning Commission and City Council

Ankeny City Hall
410 West 1st Street
Ankeny, Iowa 50023

RE: PRELIMINARY PLAT – PHEASANT TRAIL PLAT 1

Dear Members of Plan and Zoning Commission and City Council:

On behalf of Fourstar Development LLC, we present the preliminary plat of Pheasant Trail Plat 1. This plat is located in the southeasterly corner of the Moeckly PUD in the northwest portion of the city and contains 21.22 acres to create 58 single family lots along with two outlots.

This plat includes the extension of NW Abilene Road to connect the to the future alignment of NW State Street. Stormwater will basically drain from NW to SE as it currently does in its existing condition. Stormwater will be treated and detained in a wet pond that will be centrally located within the plat. Public watermain and sanitary sewer will be extended throughout the plat and stubbed for further extension to future phases.

We ask for your review and approval of the subject preliminary plat with P & Z review to be held on July 6 and Council review on July 18. We have also submitted the public improvement plans along with the final plat and anticipate an expedient approval to proceed with construction of public improvements immediately thereafter.

Sincerely,

CIVIL ENGINEERING CONSULTANTS, INC.

Bart A. Turk. PLA
Project Manager

Cc: Fourstar Development LLC

PRELIMINARY PLAT PHEASANT TRAIL PLAT I ANKENY, IOWA



VICINITY SKETCH

NOTES:

1. THIS PROJECT IS WITHIN THE NORTHERN INTERCEPTOR TRUNK SEWER DISTRICT 1.
2. OUTLOT 1" SHALL REMAIN UNDEVELOPED DUE TO SIZE CONSTRAINTS AND SHALL BE OWNED BY THE DEVELOPER. OUTLOT 2" SHALL PROVIDE STORMWATER DETENTION AND SHALL BE OWNED BY THE HOMEOWNERS ASSOCIATION.
3. THE DEVELOPER SHALL BE ALLOWED TO DEVELOP PROPERTY WITHIN THE BOUNDARY OF THIS PRELIMINARY PLAT WITHOUT THE REQUIREMENT OF A TRAFFIC ANALYSIS. ANY FUTURE DEVELOPMENT OF THE SURROUNDING PROPERTY WILL REQUIRE A TRAFFIC STUDY TO BE COMPLETED AT THE TIME OF THE PRELIMINARY PLAT PROCESS.
4. PROPOSED UTILITY LAYOUTS SHOWN ARE PRELIMINARY AND SUBJECT TO MODIFICATION WITH THE SUBMITTAL OF PUBLIC IMPROVEMENT CONSTRUCTION DRAWINGS.
5. DRIVEWAY ACCESS TO NW ABILENE ROAD SHALL BE RESTRICTED FOR LOTS 1, 18, 29, AND 48.
6. AN 8-FOOT WIDE PUBLIC SIDEWALK SHALL BE REQUIRED ALONG THE EAST SIDE OF NW ABILENE ROAD.
7. A 20' WIDE LANDSCAPE BUFFER EASEMENT THAT INCLUDES SPECIFIC LANDSCAPE PLANTINGS SHALL BE PROVIDED WITHIN RESIDENTIAL LOTS ADJACENT TO NW STATE ST.

UTILITY CONTACTS

ANKENY WATER
SHAWN ENGELER
ANKENY SANITARY SEWER
ROBERT MCPHAIL AND
ANKENY TRAFFIC FIBER OPTIC
TOM DOZIER
MIDAMERICAN ELEC & GAS
MICHELL HERSHMAN
MIDAMERICAN COMM CORP.
PAUL MAY
CENTURYLINK LOCAL NETWORK
RAY MONTOYA

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TDOZIER@ANKENYIA.GOV
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MICHELL.HERSHMAN@MIDAMERICAN.COM
PH: 515-246-2252
PMAY@MIDAMERICAN.COM
PH: 515-285-7585
RAY.MONTOYA@CENTURYLINK.COM

SHEET LIST TABLE

Sheet Number	Sheet Title
1	COVER
2	DIMENSION PLAN
3	EASEMENT PLAN
4	GRADING PLAN
5	UTILITIES PLAN

OWNER:

APRIL ELLIS & JOHN FERRIER
TENANTS IN COMMON
HELEN MOECKLY TRUST
4825 NW IRVINGDALE DR
ANKENY, IA 50028-7481

ZONING/LAND USE

EXISTING: RUD

DEVELOPER:

FOURSTAR DEVELOPMENT LLC
MARK BOCKENSTEIT
1003 NW RIDGE ROAD
ANKENY, IA 50023
515-244-2423
markbocken@fourstar.com

PROJECT MANAGER:

BART TURK
CIVIL ENGINEERING CONSULTANTS
2400 86TH STREET, #2
DES MOINES, IOWA 50322
515-276-4884
TURK@CECLAC.COM

BULK REGULATIONS

SINGLE FAMILY RESIDENTIAL
ALLOWED USES INCLUDE: TRADITIONAL DETACHED SINGLE-FAMILY HOMES HAVING A MINIMUM TWO-CAR ATTACHED GARAGE.
MINIMUM FOUR PARKING STALLS PER DWELLING UNIT (INCLUDING GARAGE SPACES)
MAXIMUM DENSITY IS 5 DWELLING UNITS/ACRE
MINIMUM LOT WIDTH AND MINIMUM SQUARE FOOTAGE
LOTS 1 THROUGH 4 - 75 FEET - 4500 SF
LOTS 10 THROUGH 23, 55 & 56 - 65 FEET - 8500 SF
LOTS 26 THROUGH 24, 48 THROUGH 54, 57 & 58 - 51 FEET - 6500 SF
LOTS 30 THROUGH 41 - 45 FEET - 5500 SF
(LOT WIDTHS ARE MEASURED AT THE FRONT YARD SETBACK LINE)
MINIMUM YARD REQUIREMENTS
FRONT - 30 FEET
REAR - 30 FEET (UNENCLOSED DECKS MAY EXTEND 12 FEET IN TO REAR YARD SETBACK)
SIDE - LOTS 1 THROUGH 34, 55, 56 & 58 - 15 FEET (MINIMUM 5' ONE SIDE)
LOTS 35 THROUGH 54 AND 57 - 10 FEET (MINIMUM 5' ONE SIDE)
GABLETIPS ARE NOT ALLOWED WITHIN ANY 5' SETBACK, TO INCLUDE EGRESS WINDOW WELLS, USABLE FLOOR, BAY WINDOWS, AND NON-USABLE FLOOR SPACES.

BUFFERS

A 20 FEET WIDE LANDSCAPE BUFFER SHALL BE PROVIDED WITHIN LOTS 48 THROUGH 58 ADJACENT TO NW STATE STREET.
LANDSCAPE BUFFER SHALL INCLUDE 6 OVERSTORY TREES AND 6 EVERGREEN TREES PER 100 LINEAL FEET.

LEGAL DESCRIPTION

A PARCEL OF LAND IN THE SE1/4 NW1/4 OF SECTION 03, TOWNSHIP 20 NORTH, RANGE 24 WEST OF THE 3RD P.M., CITY OF ANKENY, POLK COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 03, SAID CENTER ALSO BEING THE NE CORNER OF BRINKMORE ESTATES PLAT I, AN OFFICIAL PLAT RECORDED IN BOOK 16037, PAGE 373 AT THE POLK COUNTY RECORDER'S OFFICE, THENCE S89°31'04"N, 458.21 FEET ALONG THE SOUTH LINE OF SAID SE1/4 NW1/4, SAID SOUTH LINE COINCIDES WITH THE NORTH LINE OF SAID BRINKMORE ESTATES PLAT I, AND BRINKMORE ESTATES PLAT 2, AN OFFICIAL PLAT RECORDED IN BOOK 16754, PAGE 985 AT THE POLK COUNTY RECORDER'S OFFICE, TO A POINT, THENCE N00°29'56"W, 520.00 FEET TO A POINT, THENCE S89°31'04"N, 40.21 FEET TO A POINT, THENCE N0°31'20"E, 180.12 FEET TO A POINT, THENCE EASTERLY ALONG A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 130.00 FEET AND A CHORD BEARING S11°42'30"E, AN ARC LENGTH OF 48.50 FEET TO A POINT OF TANGENCY, THENCE S75°54'18"E, 13.94 FEET TO A POINT, THENCE N41°05'42"E, 128.44 FEET TO A POINT, THENCE S89°40'48"E, 128.40 FEET TO A POINT, THENCE N47°52'02"E, 184.35 FEET TO A POINT, THENCE SOUTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET AND A CHORD BEARING S10°46'22"E, AN ARC LENGTH OF 51.54 FEET TO A POINT, THENCE N23°33'00"E, 140.05 FEET TO A POINT, THENCE S82°50'30"E, 117.11 FEET TO A POINT, THENCE NORTHERLY ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 147.00 FEET AND A CHORD BEARING N57°07'01"E, AN ARC LENGTH OF 40.00 FEET TO A POINT, THENCE N52°52'51"E, 12.50 TO A POINT, THENCE N0°15'06"E, 192.10 FEET TO A POINT, THENCE N22°54'25"E, 162.63 FEET TO A POINT, THENCE S67°05'39"E, 503.44 FEET TO A POINT ON THE EAST LINE OF SAID SE1/4 NW1/4, THENCE S01°18'42"E, 108.44 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING AND CONTAINING 21.22 ACRES MORE OR LESS.

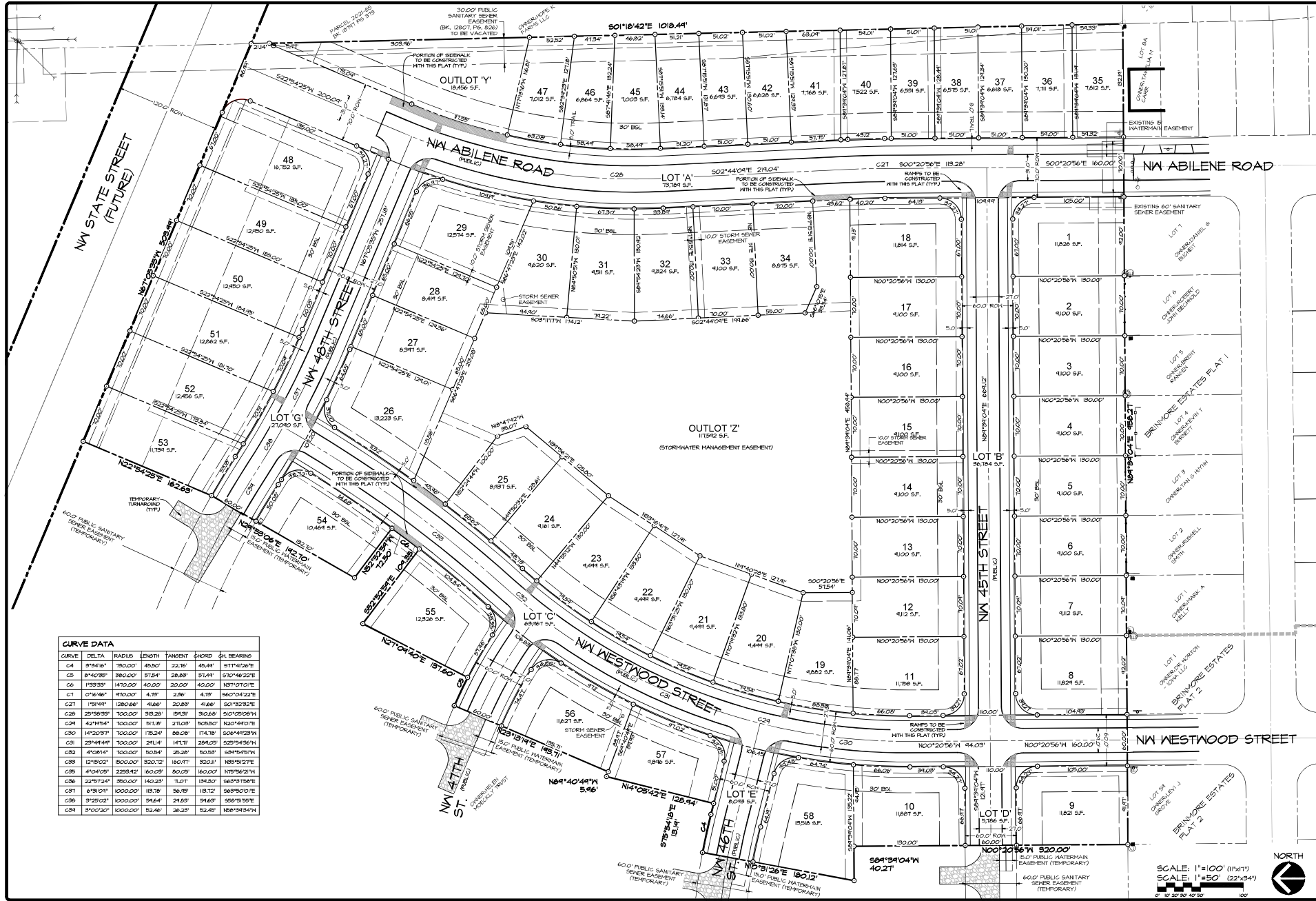
GENERAL LEGEND

PROPOSED	EXISTING
FLAT BOUNDARY	LOT LINE
SECTION LINE	SANITARY/STORM MANHOLE
LOT LINE	WATER VALVE
CENTERLINE	FIRE HYDRANT
EASEMENT LINE	STORM SEWER SINGLE INTAKE
FLARED END SECTION	STORM SEWER DOUBLE INTAKE
DRAIN BASIN OR SEDIMENT RISER	STORM SEWER ROUND INTAKE
DRAIN BASIN WITH SOLID GRATE	FLARED END SECTION
WATER VALVE	DECIDUOUS TREE
FIRE HYDRANT ASSEMBLY	CONIFEROUS TREE
BLOW-OFF HYDRANT	SHRUB
SCOUR STOP MAT	POWER POLE
TURF REINFORCEMENT MAT	GUY ANCHOR
STORM SEWER WITH SIZE	ELECTRIC TRANSFORMER
WATER SEWER WITH SIZE	GAS METER
WATER SERVICE	TELEPHONE RISER
PROPOSED CONTOUR	SIGN
SILT FENCE	UNDERGROUND TELEVISION
ADDRESS	UNDERGROUND ELECTRIC
RIPRAP	UNDERGROUND GAS
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	SANITARY SEWER WITH SIZE
	STORM SEWER WITH SIZE
	WATER MAIN WITH SIZE
	EXISTING CONTOUR
	TREELINE
	BUILDING SETBACK LINE
	P.U.E.
	M.O.E.
	UNCL.
	UNLESS NOTED OTHERWISE

CERTIFICATION

	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. PATRICK J. SHEPARD, IOWA LICENSE NO. 12265 "DATE" MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1 - 5
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Civil Engineering Consultants, Inc.

2400 80th Street Unit 12 Des Moines, Iowa 50322

515.276.4884 mail@cecinc.com

CEC

DATE: 06-24-2022

DATE OF SURVEY: DESIGNED BY: DRAWN BY:

PHEASANT TRAIL PLAT 1

ANCIENT, IOWA

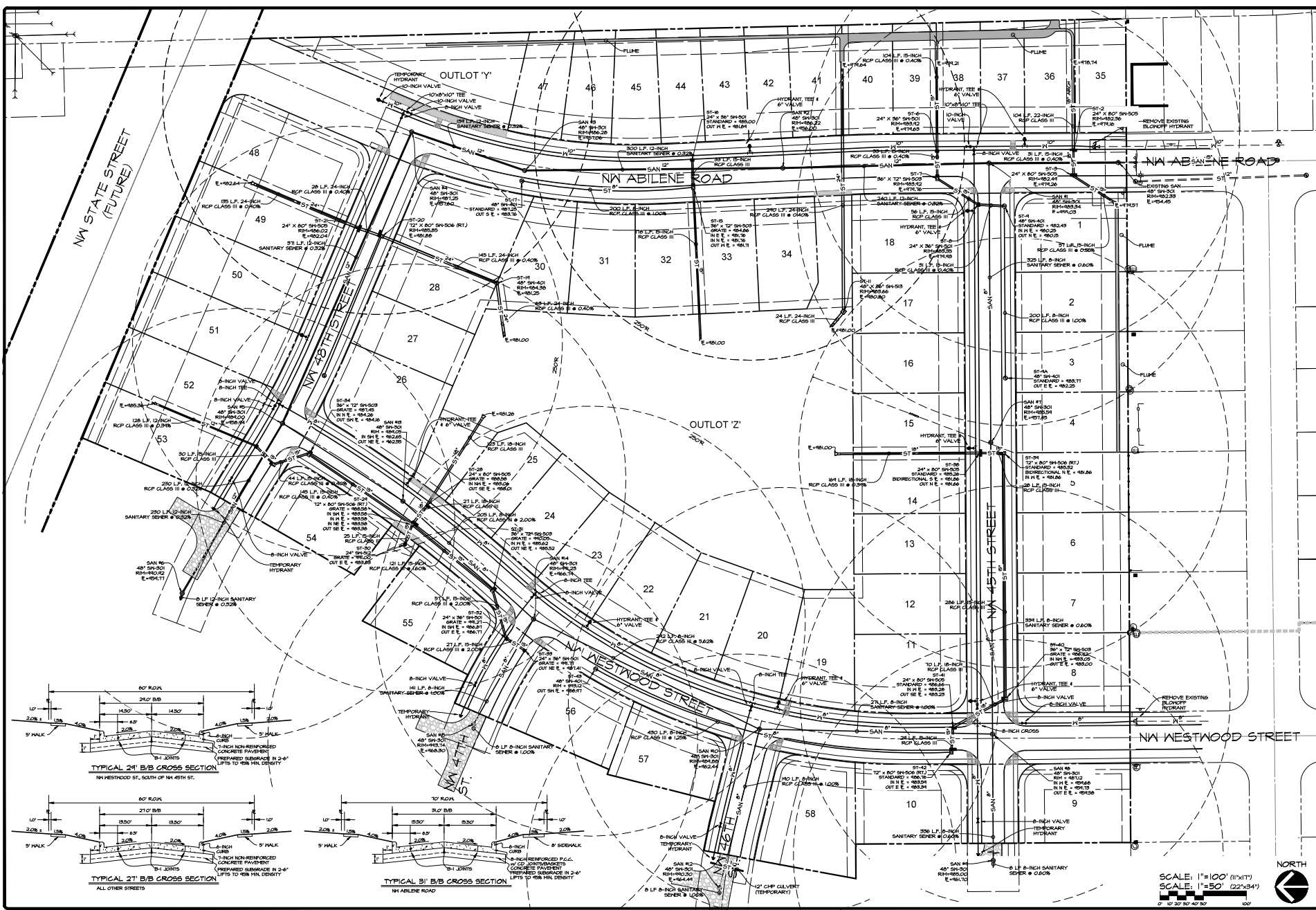
DIMENSION PLAN

SHEET 2 OF 5

A-2133

DATE	06-24-2022
DATE OF SURVEY	
DESIGNED BY	BAI
DRAWN BY	HR

PHEASANT TRAIL PLAT 1
ANKENY, IOWA
UTILITIES PLAN



TYPICAL 24" B/B CROSS SECTION
NW WESTWOOD ST., SOUTH OF NW 48TH ST.

TYPICAL 27" B/B CROSS SECTION
ALL OTHER STREETS

TYPICAL 30" B/B CROSS SECTION
NW ABILENE ROAD

SCALE: 1"=100' (HORIZ)
SCALE: 1"=50' (VERT)
0' 10' 20' 30' 40' 50' 100'





PLAN AND ZONING COMMISSION

July 6, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

LEGAL:

SUBJECT:

1. July 5, 2022 City Council Report - Staff

2. Director's Report

Tentative agenda items for July 19, 2022

June 2022 Building Permit Report

3. Commissioner's Reports

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

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 Building Permit Report June 2022

City of Ankeny
Building Permit Report
Month of June 2022

	Issued		Issued		Issued Calendar Year				Issued Fiscal Year	
	June-22		June-21		1/1/2022-6/30/2022		1/1/2021-6/30/2021		7/1/2021-6/30/2022	
	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation
RESIDENTIAL										
New Dwellings										
New Single Family Detached	29	\$9,773,275	55	\$16,210,486	272	\$81,415,483	390	\$111,200,490	532	\$160,390,721
New Single Family Attached/Duplex	28	\$6,362,873	10	\$2,365,632	125	\$29,394,325	132	\$29,405,477	251	\$59,917,999
New Multi - Family	1	\$27,000,000	1	\$0	5	\$36,429,842	1	\$0	49	\$52,608,852
Total New Residential Permits	58	\$43,136,148	66	\$18,576,118	402	\$147,239,650	523	\$140,605,967	832	\$272,917,572
Additions/Alterations/Other (1)	108	\$1,197,534	95	\$500,454	459	\$5,835,429	490	\$3,814,115	844	\$10,136,117
Total New Dwelling Units	197		239		591		696		1067	
NON-RESIDENTIAL										
New Commercial	6	\$3,562,238	6	\$49,184,279	21	\$94,419,033	13	\$75,206,779	36	\$135,458,846
COM Additions/Alterations/Other	4	\$356,840	12	\$3,146,865	54	\$10,467,823	61	\$62,605,736	121	\$43,757,892
New Church	1	\$13,679,075	0	\$0	1	\$13,679,075	0	\$0	1	\$13,679,075
CHR Additions/Alterations/Other	0	\$0	0	\$0	1	\$5,080	5	\$4,784,000	3	\$60,080
New School	1	\$27,196,293	0	\$0	1	\$27,196,293	0	\$0	1	\$27,196,293
SCH Additions/Alterations/Other	0	\$0	0	\$0	3	\$40,550	1	\$5,176,000	3	\$40,550
Total Non Residential Permits	12	\$44,794,446	18	\$52,331,144	81	\$145,807,854	80	\$147,772,515	165	\$220,192,736
MISC PERMITS (2)	123	\$79,949	133	\$136,469	535	\$800,179	563	\$615,566	1118	\$1,403,733
TOTALS	301	\$89,208,077	312	\$71,544,185	1477	\$299,683,112	1656	\$292,808,163	2959	\$504,650,158

(1) includes permits issued for sheds, pools, garages, decks, porches, auxiliary structures

(2) includes permits issued for: driveway approach, signs, fences, other misc. non-residential

RSF includes attached & detached dwelling units; RDF includes duplexes; RMF includes apartments & stacked condo units

* includes footing & foundation permits

The City Of Ankeny
Building Permit Report (Monthly)
Issued from June 2022

Type of Use	Type of Work	Issue Date	Valuation	Permit Number	Street Address	Applicant Name	Contractor Name
Single Family Detached	New Building	6/3/2022	\$342,670	22-2688-NEW	3117 NW 27th Cir	Candor Homes, LLC	Candor Homes, LLC
Single Family Detached	New Building	6/3/2022	\$288,631	22-2729-NEW	3153 NW 27th Cir	Happe Homes, LLP	Happe Homes, LLP
Single Family Detached	New Building	6/3/2022	\$533,424	22-3085-NEW	6006 NE Terrace Ridge Dr	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	New Building	6/3/2022	\$515,693	22-3087-NEW	1215 SW Des Moines St	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	New Building	6/7/2022	\$421,158	22-2829-NEW	1221 NW Arbor Ct	Parks Custom Homes LLC	Parks Custom Homes LLC
Single Family Detached	New Building	6/7/2022	\$330,892	22-3266-NEW	220 NE Harvest Ridge Ln	Harvest Ridge Builders	Harvest Ridge Builders
Single Family Detached	New Building	6/8/2022	\$362,249	22-3137-NEW	1721 SW Westview Dr	Hale Development LLC	Hale Development LLC
Single Family Detached	New Building	6/9/2022	\$274,022	22-3279-NEW	2508 NW Reinhart Dr	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/9/2022	\$436,012	22-3299-NEW	2504 NW Reinhart Dr	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/9/2022	\$321,537	22-3437-NEW	2808 NW Cedarwood St	DRA Properties	DRA Properties, LC
Single Family Detached	New Building	6/10/2022	\$302,390	22-3209-NEW	207 NE Harvest Ridge Ln	Harvest Ridge Builders	Harvest Ridge Builders
Single Family Detached	New Building	6/10/2022	\$370,925	22-3210-NEW	211 NE Harvest Ridge Ln	Harvest Ridge Builders	Harvest Ridge Builders
Single Family Detached	New Building	6/10/2022	\$312,837	22-3211-NEW	6210 NE Grant Ln	Harvest Ridge Builders	Harvest Ridge Builders
Single Family Detached	New Building	6/10/2022	\$360,778	22-3321-NEW	1211 SW Des Moines St	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	New Building	6/10/2022	\$310,940	22-3360-NEW	2521 SW 23rd St	Caliber Homes	Caliber Homes
Single Family Detached	New Building	6/13/2022	\$348,423	22-3008-NEW	3112 NW 27th Cir	CCS Homes	CCS Homes
Single Family Detached	New Building	6/13/2022	\$223,690	22-3378-NEW	3210 NE 5th Ln	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/13/2022	\$240,285	22-3380-NEW	3304 NE 5th Ln	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/13/2022	\$283,794	22-3414-NEW	4008 NE 6th St	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/13/2022	\$262,917	22-3417-NEW	4012 NE 6th St	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/13/2022	\$292,002	22-3418-NEW	616 NE Deerfield Dr	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/14/2022	\$313,359	22-3497-NEW	2302 SW Plaza Pkwy	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	6/15/2022	\$374,785	22-3218-NEW	1807 SW Westview Dr	Hansen Homes	Hansen Homes
Single Family Detached	New Building	6/16/2022	\$228,854	22-3572-NEW	2711 NW 31st St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	6/16/2022	\$227,204	22-3574-NEW	2707 NW 31st St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	6/17/2022	\$453,296	22-3354-NEW	2509 SW 23rd St	Caliber Homes	Caliber Homes
Single Family Detached	New Building	6/22/2022	\$340,436	22-3361-NEW	3215 NW 27th Cir	Vander Kamp Homebuilders	Vander Kamp Homebuilders
Single Family Detached	New Building	6/27/2022	\$334,264	22-3758-NEW	524 NE 57th Ct	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	6/29/2022	\$365,809	22-3151-NEW	3307 NW 27th St	Candor Homes, LLC	Candor Homes, LLC
Single Family Attached	New Building	6/9/2022	\$234,284	22-3470-NEW	2120 NW 44th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	6/9/2022	\$234,354	22-3469-NEW	2124 NW 44th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	6/10/2022	\$215,935	22-2651-NEW	3313 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,282	22-2849-NEW	3317 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$217,110	22-2850-NEW	3321 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,282	22-2851-NEW	3325 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$217,110	22-2852-NEW	3329 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$216,980	22-2646-NEW	3316 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,151	22-2840-NEW	3320 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$216,980	22-2841-NEW	3324 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,151	22-2842-NEW	3328 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,935	22-2652-NEW	3332 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,282	22-2854-NEW	3336 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc

Single Family Attached	New Building	6/10/2022	\$217,110	22-2855-NEW	3340 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,282	22-2856-NEW	3344 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$217,110	22-2857-NEW	3348 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,151	22-2645-NEW	3333 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,151	22-2845-NEW	3337 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$217,110	22-2846-NEW	3341 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/10/2022	\$215,151	22-2847-NEW	3345 NW Stratford Ln	Greenland Homes Inc	Greenland Homes Inc
Single Family Attached	New Building	6/21/2022	\$252,521	22-3449-NEW	204 NE Country Meadow Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$249,821	22-3536-NEW	208 NE Country Meadow Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$249,038	22-3537-NEW	212 NE Country Meadow Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$252,521	22-3538-NEW	216 NE Country Meadow Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$250,693	22-3445-NEW	4101 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$249,038	22-3553-NEW	4105 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$249,821	22-3558-NEW	4109 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Attached	New Building	6/21/2022	\$252,521	22-3559-NEW	4113 NE Timber Ln	Genesis Homes Inc	Genesis Homes Of Iowa LLC
M-F (Attivo 140 units)	New Building	6/14/2022	\$27,000,000	21-6804-NEW	1010 SW Magazine Rd	Insite Construction	Insite Construction
Multi-Family	Building Alteration	6/1/2022	\$44,001	22-3175-ALT	918 NE Crestmoor Pl Apt 307	Reliable Construction Services	Reliable Construction Services
Single Family Detached	Building Addition	6/1/2022	\$18,281	22-3252-ADD	837 SE 3rd St	Sunroom Escapes	Sunroom Escapes
Single Family Detached	Solar	6/1/2022	\$17,000	22-3322-SOL	2401 NW Park Meadows Dr	One Source Solar	1 Source Solar
Single Family Detached	Solar	6/1/2022	\$25,000	22-3323-SOL	710 NE Pinnacle Ct	One Source Solar	1 Source Solar
Single Family Detached	Building Alteration	6/3/2022	\$84,652	22-2681-ALT	3214 NE Briarwood Dr	Kyanite Design & Build	Kyanite Design & Build
Single Family Detached	Building Alteration	6/6/2022	\$22,365	22-2609-ALT	2318 NW Applewood St	Vishal Patel	Vishal Patel
Single Family Detached	Building Alteration	6/7/2022	\$18,096	22-2155-ALT	3114 NW 30th St	3 Sons Construction	3 Sons Construction
Single Family Detached	Building Alteration	6/7/2022	\$21,112	22-3195-ALT	3124 NW 25th St	Hanson Scott	Hanson Scott
Single Family Detached	Solar	6/7/2022	\$30,000	22-3258-SOL	5506 NW 17th St	Purelight Power	Purelight Power
Single Family Detached	Solar	6/7/2022	\$15,000	22-3262-SOL	3702 NW 4th St	Purelight Power	Purelight Power
Single Family Detached	Solar	6/7/2022	\$12,000	22-3342-SOL	309 NE Oak Dr	Purelight Power	Purelight Power
Single Family Detached	Building Alteration	6/7/2022	\$23,803	22-3344-ALT	2604 NE 12th Ct	Strahan Construction Company	Strahan Construction Company
Single Family Detached	Solar	6/7/2022	\$15,000	22-3348-SOL	660 SW Springfield Dr	Purelight Power	Purelight Power
Single Family Attached	Porch	6/9/2022	\$2,400	22-1269-PRCH	2212 SW Westwood St	Mapes Construction Company	Mapes Construction Company
Single Family Detached	Building Alteration	6/9/2022	\$14,036	22-3368-ALT	506 SE Lowell Dr	Davis & Reed Homes	Davis & Reed Homes
Single Family Detached	Porch	6/9/2022	\$2,880	22-3514-PRCH	802 NW Seasons Dr	Select Construction & Remodel	Select Construction & Remodel
Multi-Family	Building Alteration	6/9/2022		22-3515-ALT	110 SW School St	Kavik Concrete	Kavik Concrete
Single Family Detached	Porch	6/13/2022	\$1,520	22-3495-PRCH	3219 NE 6th Ln	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	Pergola	6/13/2022	\$600	22-3642-PERG	741 NE 9th St	Paul Russell	Paul Russell
Single Family Detached	Building Addition	6/14/2022	\$21,684	22-2699-ADD	2514 NW Abilene Rd	Screen Builders	Screenbuilders
Single Family Detached	Building Alteration	6/14/2022	\$10,000	22-3448-ALT	1210 NE 29th St	Pyramid Wall Systems	Pyramid Wall Systems
Single Family Detached	Solar	6/14/2022	\$20,000	22-3521-SOL	3101 NW Westwood St	Purelight Power	Purelight Power
Single Family Detached	Pergola	6/15/2022	\$5,000	22-2708-PERG	2619 SW 31st St	Carl Koedam	CJK-S Services
Single Family Detached	Solar	6/16/2022	\$17,865	22-2008-SOL	702 NW Boulder Brook Dr	One Source Solar	One Source Solar
Single Family Detached	Building Alteration	6/16/2022	\$18,560	22-3689-ALT	3621 NE Winding Trail Dr	Penner Builds	Penner Builds
Single Family Detached	Building Alteration	6/17/2022	\$3,000	22-3695-ALT	506 NE Georgetown Blvd	K Squared Services LLC	K Squared Services LLC
Single Family Detached	Building Addition	6/17/2022	\$34,473	22-3699-ADD	3416 SW Timberline Dr	Midwest Builders Of Iowa	Midwest Builders Of Iowa
Single Family Attached	Solar	6/20/2022	\$55,904	22-3762-SOL	1202 NW Cypress Ct	SunPro Solar	ADT Solar LLC
Single Family Detached	Pergola	6/20/2022	\$6,000	22-3782-PERG	2109 NW Abilene Rd	Knox Construction	Knox Construction
Single Family Detached	Gazebo	6/21/2022	\$3,360	22-3041-GAZ	608 NE 47th St	Jeffrey J Showers	Jeffrey J Showers

Single Family Detached	Building Addition	6/21/2022	\$34,473	22-3740-ADD	4414 SW Walnut St	Midwest Builders Of Iowa	Midwest Builders Of Iowa
Single Family Detached	Solar	6/21/2022	\$35,112	22-3791-SOL	118 NE Crestmoor Pl	Dexton Lybbert	Dexton Lybbert
Single Family Detached	Building Alteration	6/21/2022	\$19,627	22-3831-ALT	1910 SW 18th St	Tesir Alhussaini	Tesir Alhussaini
Single Family Detached	Pergola	6/23/2022	\$1,500	22-3517-PERG	1401 NW Arbor Dr	K2 Homes	K2 Homes
Single Family Detached	Solar	6/23/2022	\$14,235	22-3639-SOL	5112 NW 7th St	One Source Solar	8x8 Contracting ,1 Source Solar
Single Family Detached	Building Alteration	6/23/2022	\$17,400	22-3851-ALT	2401 NW 44th St	Alex Juergens	Alex Juergens
Single Family Detached	Solar	6/23/2022	\$20,000	22-3883-SOL	5242 NE Seneca Dr	Purelight Power	Purelight Power
Single Family Detached	Solar	6/23/2022	\$20,000	22-3886-SOL	1611 NE Meadow Ct	Purelight Power	Purelight Power
Single Family Detached	Solar	6/24/2022	\$35,862	22-3508-SOL	2014 SW Reunion Cir	SunPro Solar	ADT Solar LLC
Single Family Detached	Building Addition	6/24/2022	\$44,289	22-3722-ADD	3918 NW 10th St	Tesir Alhussaini	Tesir Alhussaini
Single Family Detached	Solar	6/24/2022	\$16,444	22-3959-SOL	1613 NW Pine View Cir	SunPro Solar	ADT Solar LLC
Single Family Detached	Solar	6/24/2022	\$17,300	22-3960-SOL	3005 NW 5th St	One Source Solar	1 Source Solar
Single Family Detached	Building Alteration	6/27/2022	\$21,000	22-3863-ALT	4311 SW Walnut St	Iowa Contracting Inc	Iowa Contracting Inc
Single Family Detached	Pergola	6/28/2022	\$2,000	22-2459-PERG	2302 SW White Birch Dr	Schuchart Ross	Schuchart Ross
Single Family Detached	Building Alteration	6/28/2022	\$8,120	22-3980-ALT	3608 NW Reinhart Dr	KBS	KBS
Single Family Detached	Building Alteration	6/28/2022	\$25,520	22-3985-ALT	3127 NW 22nd St	Stoebner Boe	Stoebner Boe
Single Family Detached	Porch	6/29/2022	\$7,200	22-4076-PRCH	610 SE 11th St	Gabino Berber	Gabino Berber
Single Family Detached	Porch	6/29/2022	\$3,840	22-4099-PRCH	715 NE 47th St	Buresh Homes Solutions	Buresh Homes Solutions
Single Family Detached	Building Addition	6/30/2022	\$45,442	22-3971-ADD	809 NE Vail Ct	Contractors Group Inc	Contractors Group Inc
Single Family Detached	Garage	6/7/2022	\$15,384	22-3230-GAR	907 NW 39th St	Knuth Construction	Knuth Construction
Single Family Detached	Garage	6/20/2022	\$26,409	22-3646-GAR	2809 NW 5th St	Modern Touches	Modern Touches
Single Family Attached	Garage	6/22/2022	\$29,537	22-3788-GAR	205 NW College Ave	5 Star Exteriors	5 Star Exteriors
Single Family Attached	Garage	6/22/2022	\$29,537	22-3789-GAR	207 NW College Ave	5 Star Exteriors	5 Star Exteriors
Single Family Detached	Garage	6/28/2022	\$51,485	22-3917-GAR	1707 NE 14th Ct	Jeff Mertz	Jeff Mertz
Single Family Detached	Shed	6/1/2022	\$2,400	22-3272-SHD	1909 SW Westwood St	Randy Stackhouse	Randy Stackhouse
Single Family Detached	Shed	6/1/2022	\$1,920	22-3301-SHD	416 SW 16th St	Andrew W Hansen	Andrew W Hansen
Single Family Detached	Shed	6/10/2022	\$6,600	22-3569-SHD	3910 NW Windbrooke Ct	David L Jones	Ankeny Community Schools
Single Family Detached	Shed	6/17/2022	\$1,200	22-3721-SHD	814 NE Meadow Landing Dr	Laura A Hinkeldey	Laura A Hinkeldey
Single Family Detached	Shed	6/17/2022	\$5,600	22-3760-SHD	3115 SW Chestnut Ct	Hamilton S Drane	Pioneer Construction
Single Family Detached	Shed	6/20/2022	\$2,240	22-2416-SHD	713 SE 9th St	Jesus Colunga	Jesus Colunga
Single Family Detached	Shed	6/22/2022	\$2,240	22-3668-SHD	316 NW Waterview Ct	Melanie S Byrd	Tuff Shed
Single Family Detached	Shed	6/22/2022	\$2,880	22-3879-SHD	4911 NW 2nd Ct	Jeffrey Terrell	Tuff Shed
Single Family Detached	Shed	6/28/2022	\$1,920	22-3727-SHD	5020 NE Innsbruck Dr	Becky Epane	Central Iowa Sheds LLC
Single Family Detached	Shed	6/28/2022	\$1,600	22-4023-SHD	619 NE Pearl Dr	Damian Adamus	Tuff Shed
Single Family Detached	Shed	6/28/2022	\$2,000	22-4026-SHD	1419 NW 27th St	Tuff Shed	Tuff Shed
Single Family Detached	Shed	6/29/2022	\$2,400	22-4027-SHD	4956 NE Bellagio Dr	Terri Sawatzky	Tuff Shed
Single Family Detached	Shed	6/30/2022	\$1,600	22-4102-SHD	4224 NW Northwood Dr	Raul Chavez	Raul Chavez
Single Family Detached	Spa/Hot Tub	6/20/2022		22-2964-SPA	1412 SE Rio Dr	Kristin L Prendergast	Kristin L Prendergast
Single Family Detached	Spa/Hot Tub	6/22/2022		22-3795-SPA	1206 NE 51st St	Daniel T Corron	Daniel T Corron
Single Family Detached	Swimming Pool	6/3/2022		22-3274-POOL	1707 SW Abilene Rd	Toy Box Construction	Toy Box Construction
Single Family Detached	Swimming Pool	6/7/2022		22-3399-POOL	548 NW 31st St	Jessica Kramer	Jessica Kramer
Single Family Detached	Swimming Pool	6/8/2022		22-2612-POOL	1602 SW State St	Brett Kurth	Pool Escapes
Single Family Detached	Swimming Pool	6/13/2022		22-3584-POOL	4725 NE Oak Dr	Josh Rossmanith	Josh Rossmanith
Single Family Detached	Swimming Pool	6/14/2022		22-3513-POOL	531 SW 32nd Ct	Joe Baxter	Joe Baxter

Single Family Detached	Swimming Pool	6/14/2022	22-3594-POOL	1197 SW Fehn Dr	Lanie Boas	Lanie Boas
Single Family Detached	Swimming Pool	6/20/2022	22-3662-POOL	2822 SW Reunion Dr	Anita Traynor	Water World
Single Family Detached	Swimming Pool	6/20/2022	22-3717-POOL	4304 SW Somersby Blvd	Amrit Bassi	Amrit Bassi
Single Family Detached	Swimming Pool	6/21/2022	22-3852-POOL	1115 NW Reinhart Dr	CMC Pools of Iowa	CMC Pools of Iowa
Single Family Detached	Swimming Pool	6/21/2022	22-3853-POOL	326 NE 8th St	Kathryn L Nicodemus	Kathryn L Nicodemus
Single Family Detached	Swimming Pool	6/29/2022	22-3970-POOL	3103 SW Timberline Dr	River Granite Co	River Granite Co
Single Family Detached	Deck	6/1/2022	\$3,132 22-2922-DECK	2410 NW School St	Benjamin Madren	Benjamin Madren
Single Family Detached	Deck	6/1/2022	\$3,072 22-3320-DECK	3120 NW 25th St	Robert Campbell	Robert Campbell
Single Family Detached	Deck	6/2/2022	\$4,032 22-3254-DECK	304 NW Beechwood St	Abrahan C Talavera	Abrahan C Talavera
Single Family Detached	Deck	6/7/2022	\$3,456 22-3340-DECK	3910 NW 6th St	Infinity Construction	Infinity Construction
Single Family Detached	Deck	6/7/2022	\$2,928 22-3370-DECK	426 NE 16th St	Bannerstone Home Design	On The Mark Interior Trim
Single Family Detached	Deck	6/8/2022	\$500 22-3504-DECK	2021 NW 43rd St	Johany's Alvarez	Junior Mayorga
Single Family Detached	Deck	6/10/2022	\$4,320 22-1230-DECK	4817 NE Seneca Dr	Tim Averill	Rigid Builders Inc
Single Family Detached	Deck	6/10/2022	\$2,304 22-3547-DECK	3910 NW Windbrooke Ct	Deck & Drive Solutions	Deck & Drive Solutions
Single Family Detached	Deck	6/13/2022	\$1,680 22-3310-DECK	3207 NW Greenwood St	Vishal Patel	Vishal Patel
Single Family Detached	Deck	6/13/2022	\$2,880 22-3367-DECK	1915 SW 19th St	Lucas Hall	Lucas Hall
Single Family Detached	Deck	6/13/2022	\$1,200 22-3599-DECK	3211 NW Greenwood St	Jeff Thede	Jeff Thede
Single Family Attached	Deck	6/14/2022	\$1,320 22-3626-DECK	2717 SW Prairie Trail Pkwy	Drew Snyder	Drew Snyder
Single Family Detached	Deck	6/15/2022	\$192 22-3576-DECK	2109 NW 43rd St	Hammer and A Fork	Hammer and A Fork
Single Family Detached	Deck	6/16/2022	\$2,016 22-2769-DECK	3107 SE 22nd St	Vishal Patel	Vishal Patel
Single Family Detached	Deck	6/17/2022	\$2,040 22-3692-DECK	506 NE Georgetown Blvd	K Squared Services LLC	K Squared Services LLC
Single Family Detached	Deck	6/20/2022	\$2,208 22-2768-DECK	923 NW 32nd St	Vishal Patel	Vishal Patel
Single Family Detached	Deck	6/20/2022	\$1,440 22-3147-DECK	3606 NE Raintree Dr	Richard G Jespersen	Richard G Jespersen
Single Family Attached	Deck	6/21/2022	\$396 22-3670-DECK	2101 NW 43rd St	Jason Neutzling	Jason Neutzling
Single Family Detached	Deck	6/21/2022	\$1,584 22-3849-DECK	2304 SE Clover Ridge Ct	Daniel Welsch	Taft Construction Services
Single Family Detached	Deck	6/22/2022	\$2,028 22-3194-DECK	2521 SW 32nd St	David M Jansen	David M Jansen
Single Family Detached	Deck	6/23/2022	\$2,160 22-3804-DECK	2507 NW 44th St	Van Andel Rusty	Van Andel Rusty
Single Family Detached	Deck	6/23/2022	\$4,032 22-3844-DECK	2509 SW 36th St	Matt Riesberg	Matt Riesberg
Single Family Detached	Deck	6/24/2022	\$918 22-3911-DECK	1911 SW Vintage Pkwy	John R Lee	Kerry Blind
Single Family Detached	Deck	6/28/2022	\$1,200 22-3833-DECK	716 NE Pearl Dr	Lifetime Construction	Lifetime Construction
Single Family Detached	Deck	6/29/2022	\$2,988 22-3563-DECK	3412 NE 11th St	Steve Coffin	Steve Coffin
Single Family Detached	Deck	6/30/2022	\$1,200 22-4030-DECK	630 NE Hunter Dr	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Detached	Deck	6/30/2022	\$1,200 22-4032-DECK	706 NE Hunter Dr	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Detached	Deck	6/30/2022	\$1,200 22-4065-DECK	626 NE Hunter Dr	Genesis Homes Inc	Genesis Homes of Iowa LLC
Other (Brakes Plus)	New Building	6/6/2022	\$1,000,000 22-0483-NEW	615 SE Oralabor Rd	Will Rogers	Perry Construction
Storage	New Building	6/8/2022	\$237,375 21-7158-NEW	1202 SW 11th Ln	Happe Commercial	Happe Commercial
Storage	New Building	6/8/2022	\$224,863 21-7159-NEW	1104 SW 11th Ln	Happe Commercial	Happe Commercial
Other (Restrooms)	New Building	6/9/2022	\$350,000 22-3481-NEW	2055 NW Irvindale Dr	John Grant	SHYFT Collective
School	New Building	6/14/2022	\$27,196,293 22-0774-NEW	5001 NW 18th St	Ankeny Community School Dist	Stahl Construction Company
Church	New Building	6/15/2022	\$13,679,075 22-2238-NEW	5525 NE Delaware Ave	JCorp, Inc.	JCorp, Inc.
Storage	Shell permit	6/24/2022	\$1,400,000 22-3191-SHELL	807 SW Des Moines St	Eick & Day Construction	Eick & Day Construction
Restaurant	New Building	6/29/2022	\$350,000 22-2354-NEW	1020 E 1st St	Mohr Construction Services	Mohr Construction Services
Other (crematory)	Building Alteration	6/14/2022	\$11,840 22-3654-ALT	1510 W 1st St	Iossi Construction, Inc	Iossi Construction, Inc
Retail	Building Alteration	6/27/2022	\$80,000 22-3954-ALT	165 SW Magazine Rd	Seneca Companies, Inc	Seneca Companies, Inc
Office	Building Alteration	6/27/2022	\$250,000 22-0467-ALT	2325 SW State St Ste D	Burnham Nationwide Inc	Erickson Balmer Construction

Manufacturing	Antenna/Tower	6/29/2022	\$15,000 22-3996-ANT	825 SW Irvinedale Dr Bldg 57	Dish Wireless - Selective Site	Dish Wireless - Selective Site
Single Family Detached	Fence/Wall	6/1/2022	22-3016-FNCE	5212 NW 6th St	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/1/2022	22-3050-FNCE	4120 NW Linwood Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/1/2022	22-3228-FNCE	2202 SW Cascade Falls Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/1/2022	22-3248-FNCE	3119 NE 17th St	Turner Thomas	Turner Thomas
Single Family Detached	Fence/Wall	6/1/2022	22-3255-FNCE	715 NE Whitetail Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/2/2022	22-3314-FNCE	707 NE Whitetail Dr	Christopher Schroeder	Christopher Schroeder
Single Family Detached	Fence/Wall	6/3/2022	22-3267-FNCE	317 SW 16th St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	6/3/2022	22-3341-FNCE	3501 SW Maple Ct	Jacob Risvold	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/6/2022	22-3425-FNCE	2719 NW 44th St	MU Law	MU Law
Single Family Detached	Fence/Wall	6/7/2022	22-2596-FNCE	4106 NE 7th St	Capitol City Fencing	Capitol City Fencing
Single Family Detached	Fence/Wall	6/7/2022	22-3257-FNCE	3224 NW Reinhart Dr	Tyler Christensen	Tyler Christensen
Single Family Detached	Fence/Wall	6/7/2022	22-3394-FNCE	606 NE Georgetown Blvd	American Fence Company	American Fence Company
Single Family Attached	Fence/Wall	6/8/2022	22-3308-FNCE	702 NE Spring St	John T Chase	John T Chase
Single Family Detached	Fence/Wall	6/8/2022	22-3401-FNCE	2105 NW Logan St	Pamela J Gould	Pamela J Gould
Single Family Detached	Fence/Wall	6/8/2022	22-3468-FNCE	1706 SW Franklin Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/8/2022	22-3501-FNCE	1310 SE Waywin Cir	Robert A Hartz	Thrive Fencing
Single Family Detached	Fence/Wall	6/9/2022	22-3525-FNCE	2517 NW 40th St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	6/10/2022	22-3250-FNCE	2516 NW 44th St	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	6/10/2022	22-3465-FNCE	902 SE Judy Dr	Kyle C Murtaugh	Kyle C Murtaugh
Single Family Attached	Fence/Wall	6/10/2022	22-3529-FNCE	1502 NW 32nd St	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/10/2022	22-3533-FNCE	505 NW Crestview Ct	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/10/2022	22-3534-FNCE	1929 SW Tanglewood Ct	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/10/2022	22-3561-FNCE	2715 NW 44th St	Sky Kuriya	Budget Pro Painting and Remdl
Single Family Detached	Fence/Wall	6/13/2022	22-2328-FNCE	3008 SE 17th St	Capitol City Fencing	Capitol City Fencing
Single Family Detached	Fence/Wall	6/13/2022	22-3597-FNCE	2007 NW 31st St	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	6/13/2022	22-3643-FNCE	2901 NW 9th St	Alexis Robbins	Alexis Robbins
Single Family Detached	Fence/Wall	6/14/2022	22-3365-FNCE	411 NW Reinhart Dr	Hadaway Fencing	Hadaway Fencing
Single Family Detached	Fence/Wall	6/14/2022	22-3405-FNCE	3412 NE 11th St	Hadaway Fencing	Hadaway Fencing
Single Family Detached	Fence/Wall	6/14/2022	22-3406-FNCE	5105 NW 13th St	Hadaway Fencing	Hadaway Fencing
Single Family Detached	Fence/Wall	6/14/2022	22-3410-FNCE	606 NE Whitetail Dr	Mike Morrison	Mike Morrison
Single Family Detached	Fence/Wall	6/14/2022	22-3649-FNCE	2613 NW 25th St	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	6/14/2022	22-3651-FNCE	1101 SE Innsbruck Dr	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	6/14/2022	22-3656-FNCE	909 SE Rene St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	6/14/2022	22-3657-FNCE	3411 NW Reinhart Dr	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	6/14/2022	22-3684-FNCE	1621 NW Abbie Dr	Gregory Sullivan	Gregory Sullivan
Single Family Detached	Fence/Wall	6/15/2022	22-3598-FNCE	510 NE Stone Valley Dr	Affordable Fencing Inc	Affordable Fencing Inc
Single Family Detached	Fence/Wall	6/15/2022	22-3610-FNCE	1002 NE 51st St	Kimberly S Jones	Platinum Fence Company LLC
Single Family Detached	Fence/Wall	6/16/2022	22-3664-FNCE	2109 NW 43rd St	Enerson Millie	Slifer Services LLC
Single Family Detached	Fence/Wall	6/16/2022	22-3682-FNCE	3140 SE Primrose Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/16/2022	22-3683-FNCE	1214 NE 53rd Ct	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/16/2022	22-3685-FNCE	1043 NW Prairie Ridge Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/16/2022	22-3686-FNCE	522 NE 55th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/17/2022	22-3665-FNCE	2814 NW 21st St	Rasim Mujakic	Platinum Fence Company LLC
Single Family Detached	Fence/Wall	6/17/2022	22-3780-FNCE	905 NW 22nd St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	6/20/2022	22-2415-FNCE	713 SE 9th St	Jesus Colunga	Jesus Colunga
Single Family Detached	Fence/Wall	6/20/2022	22-2559-FNCE	2925 SW Meadow Ridge Dr	Halcyon Fencing	Halcyon Fencing

Single Family Detached	Fence/Wall	6/20/2022	22-2560-FNCE	317 SW School St	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	6/20/2022	22-2741-FNCE	416 NE 55th St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	6/20/2022	22-3768-FNCE	4120 NE 6th St	American Fence Company	American Fence Company
Single Family Detached	Fence/Wall	6/20/2022	22-3830-FNCE	1016 NW Orchard Dr	Jennifer Goodman	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/21/2022	22-2697-FNCE	2706 NW 4th Cir	Prestige Fence	Prestige Fence
Single Family Detached	Fence/Wall	6/21/2022	22-3101-FNCE	6014 NE Terrace Ridge Dr	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	6/21/2022	22-3801-FNCE	1108 NE Meadow Crossing Dr	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	6/21/2022	22-3806-FNCE	418 NW Bayberry Ct	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	6/21/2022	22-3808-FNCE	901 NW 22nd St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	6/21/2022	22-3846-FNCE	6102 NE Briarwood Dr	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	6/21/2022	22-3847-FNCE	1112 NE Meadow Crossing Dr	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	6/21/2022	22-3854-FNCE	535 SW 32nd Ct	Kyle Larson	Kyle Larson
Single Family Detached	Fence/Wall	6/22/2022	22-3845-FNCE	3109 NW 30th St	Jasmin Kovacevic	Jasmin Kovacevic
Single Family Detached	Fence/Wall	6/22/2022	22-3868-FNCE	2311 NW 31st St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	6/22/2022	22-3878-FNCE	3906 NW 14th Ct	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	6/22/2022	22-3892-FNCE	3550 NE Winding Trail Dr	Randi R Schulz	Midwest Fencing
Single Family Detached	Fence/Wall	6/23/2022	22-3444-FNCE	306 NW Ridgeline Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/24/2022	22-3906-FNCE	805 SE 9th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/24/2022	22-3913-FNCE	1906 NE Lancaster Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	6/27/2022	22-4000-FNCE	1217 NW Beechwood St	Brian Schumacher	Brian Schumacher
Single Family Detached	Fence/Wall	6/28/2022	22-3347-FNCE	1706 NW Prairie Lakes Dr	Thrive Fencing	Thrive Fencing
Single Family Detached	Fence/Wall	6/28/2022	22-3443-FNCE	2822 NW 44th St	Thrive Fencing	Thrive Fencing
Single Family Detached	Fence/Wall	6/28/2022	22-3667-FNCE	103 NW Rock Creek Cir	Chad M Brooks	Chad M Brooks
Single Family Detached	Fence/Wall	6/28/2022	22-4024-FNCE	4620 NE Hayes Dr	American Fence Company	American Fence Company
Single Family Detached	Fence/Wall	6/28/2022	22-4033-FNCE	2310 NW 17th St	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	6/29/2022	22-3898-FNCE	1121 NW Boulder Point Pl	Eddie Rumbaugh	Eddie Rumbaugh
Single Family Detached	Fence/Wall	6/29/2022	22-3899-FNCE	1108 NW Boulder Dr	Eddie Rumbaugh	Eddie Rumbaugh
Single Family Detached	Fence/Wall	6/29/2022	22-4020-FNCE	2613 SW 23rd St	American Fence Company	American Fence Company
Single Family Detached	Fence/Wall	6/29/2022	22-4096-FNCE	5114 NW 15th St	Diana Henry	Ochoa Concrete & Fencing Svc
Single Family Detached	Fence/Wall	6/30/2022	22-3992-FNCE	2316 SW Woodbury Ln	Kylie Cooper	Blake Justus
Single Family Detached	Fence/Wall	6/30/2022	22-4105-FNCE	947 NE Otter Ridge Cir	Huber Fencing	Huber Fencing
Single Family Detached	Fence/Wall	6/30/2022	22-4112-FNCE	3007 SW 25th Ct	Kyle Zach	Kyle Zach
Single Family Detached	Fence/Wall	6/30/2022	22-4128-FNCE	607 NE Pearl Dr	Central Iowa Fencing	Central Iowa Fencing
Retail	Sign	6/3/2022	\$4,907 22-2960-SIGNP	733 N Ankeny Blvd	Iowa Sign Company	Iowa Sign Company
Other	Sign	6/3/2022	\$461 22-3208-SIGNP	1802 SE Delaware Ave Ste 115	Signarama - Ankeny	Signarama - Ankeny
Retail	Sign	6/9/2022	\$1,750 22-3539-SIGNP	2310 SE Delaware Ave Ste H	Expedite The Diehl	First Class Signs
Retail	Sign	6/14/2022	\$7,010 22-3138-SIGNP	1510 S Ankeny Blvd Ste 106	Chesnut Signs	Chesnut Signs
Retail	Sign	6/14/2022	\$4,372 22-3236-SIGNP	1510 N Ankeny Blvd Ste 104	Chesnut Signs	Chesnut Signs
Office	Sign	6/15/2022	\$6,000 22-2225-SIGNP	1555 SE Delaware Ave Ste E	Robert Roth	Fastsigns
Office	Sign	6/21/2022	\$6,000 22-3371-SIGNP	1615 SE Cortina Dr Ste 108	Iowa Sign Company	Iowa Sign Company
Retail	Sign	6/22/2022	\$3,500 22-3861-SIGNP	1325 SW Oralabor Rd Ste 204	Oskam Jim	Oskam Jim
Retail	Sign	6/22/2022	\$4,000 22-3867-SIGNP	1631 SW Main St Ste 101	Jami Langerfeld	Tri-City Sign Company
Retail	Sign	6/22/2022	\$1,982 22-3871-SIGNP	3175 SE Delaware Ave	Eagle Sign Company	Rich Thompson
Industrial	Sign	6/23/2022	\$3,730 22-3351-SIGNP	1525 SE Cortina Dr	Signarama - Ankeny	Signarama - Ankeny
Industrial	Sign	6/23/2022	\$3,730 22-3352-SIGNP	1525 SE Cortina Dr	Signarama - Ankeny	Signarama - Ankeny
Other	Sign	6/23/2022	\$14,675 22-3379-SIGNP	2006 S Ankeny Blvd Bldg 23	Chesnut Signs	Chesnut Signs
Retail	Sign	6/23/2022	\$2,000 22-3499-SIGNP	753 N Ankeny Blvd	Image 360	Image 360

Retail	Sign	6/23/2022	\$1,000	22-3510-SIGNP	802 SE Oralabor Rd Ste 106	Iowa Sign Company	Iowa Sign Company
Retail	Sign	6/23/2022	\$9,580	22-3512-SIGNP	1955 SE Oak Dr	Chesnut Signs	Chesnut Signs
Retail	Sign	6/23/2022	\$1,136	22-3648-SIGNP	1610 SW Main St Ste 104	Signarama - Ankeny	Signarama - Ankeny
Retail	Sign	6/23/2022	\$4,116	22-3858-SIGNP	1450 SW Vintage Pkwy Ste 130	Iowa Sign Company	Iowa Sign Company
Other	Temporary Sign	6/13/2022		22-3551-SIGNT	801 S Ankeny Blvd	Iowa Fireworks Company, LLC	Iowa Fireworks Company, LLC
Other	Temporary Sign	6/13/2022		22-3582-SIGNT	4625 SE Delaware Ave	TNT Fireworks	TNT Fireworks
Other	Temporary Sign	6/16/2022		22-3650-SIGNT	1500 SW Main St	Diane Weber	Bonnie's Barricades Inc
Other	Temporary Sign	6/16/2022		22-3749-SIGNT	921 SE Oralabor Rd	Jake's Fireworks	Jake's Fireworks
Retail	Temporary Sign	6/22/2022		22-3872-SIGNT	1025 E 1st St	ASAP Events Advertising	ASAP Events Advertising
Retail	Temporary Sign	6/23/2022		22-3139-SIGNT	1510 S Ankeny Blvd Ste 106	Chesnut Signs	Chesnut Signs
Retail	Temporary Sign	6/30/2022		22-3467-SIGNT	1910 SW White Birch Cir	ASAP Events Advertising	ASAP Events Advertising
Retail	Temporary Sign	6/30/2022		22-4123-SIGNT	2510 SW State St	Bellino Fireworks, Inc	Bellino Fireworks, Inc
Retail	Temporary Sign	6/30/2022		22-4126-SIGNT	3205 N Ankeny Blvd	Bellino Fireworks, Inc	Bellino Fireworks, Inc
Other	Canopy/Tent	6/9/2022		22-3123-TENT	1500 SW Main St	Ankeny Community Network	Ankeny Community Network
Other	Canopy/Tent	6/13/2022		22-3464-TENT	3205 N Ankeny Blvd	Bellino Fireworks, Inc	Bellino Fireworks, Inc
Other	Canopy/Tent	6/13/2022		22-3496-TENT	2510 SW State St	Bellino Fireworks, Inc	Bellino Fireworks, Inc
Other	Canopy/Tent	6/13/2022		22-3556-TENT	801 S Ankeny Blvd	Iowa Fireworks Company, LLC	Iowa Fireworks Company, LLC
Other	Canopy/Tent	6/13/2022		22-3583-TENT	4625 SE Delaware Ave	TNT Fireworks	TNT Fireworks
Single Family Detached	Canopy/Tent	6/15/2022		22-3213-TENT	6110 NE Briarwood Dr	Katie Rielly	Katie Rielly
Other	Canopy/Tent	6/16/2022		22-3466-TENT	921 SE Oralabor Rd	Jakes Fireworks	Jakes Fireworks
Manufacturing	Drive Approach	6/13/2022		22-3644-RSTRM	1 Sysco Pl	Absolute Concrete Construction	Absolute Concrete Construction
Single Family Detached	Drive Approach	6/22/2022		22-3763-RSTRM	402 SW Des Moines St	Alexander Messamer	Alexander Messamer
Single Family Detached	Drive Approach	6/28/2022		22-3919-RSTRM	1821 NW 4th St	Juan Vega	Juan Vega
Single Family Detached	Drive Approach	6/30/2022		22-4122-RSTRM	3001 NE Huntington Ln	Hill & Culp Concrete	Hill & Culp Concrete
Single Family Detached	Sidewalk	6/7/2022		22-3446-RSWRP	3502 SW Sawgrass Pkwy	Weeks Construction	Weeks Construction
Multi-Family	Sidewalk	6/8/2022		22-3450-RSWRP	716 SW 3rd St	CMC Solutions LLC	CMC Solutions LLC
Single Family Detached	Sidewalk	6/13/2022		22-3595-RSWRP	3105 NE Briarwood Dr	Sue Ann Rice	DG Concrete
Single Family Detached	Sidewalk	6/20/2022		22-2414-RSWRP	713 SE 9th St	Jesus Colunga	Jesus Colunga
Single Family Detached	Sidewalk	6/29/2022		22-4101-RSWRP	1010 SE 8th St	Grimm Concrete Services Inc	Grimm Concrete Services Inc
Single Family Detached	Approach/Walk	6/30/2022		22-4121-RSTRM	306 SW Des Moines St	Hill & Culp Concrete	Hill & Culp Concrete