



Meeting Agenda

Plan and Zoning Commission

Tuesday, April 18, 2023

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the April 18, 2023 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the April 4, 2023 minutes of the Plan and Zoning Commission meeting.

2. 245 NW 18th Street - Lot 5 Northview Centre Plat 2 Site Plan

Consider MOTION to approve the site plan for 245 NW 18th Street, Lot 5 Northview Centre Plat 2; subject to City Council approval of the public ingress egress easement.

3. 575 NE 47th Street - Creekside Park Improvements Site Plan

Consider MOTION to approve the site plan for 575 NE 47th Street, Creekside Park Improvements.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

I. OLD BUSINESS:

J. REPORTS:

1. April 17, 2023 City Council Report - Staff
2. Director's Report
Tentative agenda items for May 2, 2023
3. Commissioner's Report

K. MISCELLANEOUS ITEMS:

May 1, 2023 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

April 18, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: <p>Consider MOTION to approve and accept the April 4, 2023 minutes of the Plan and Zoning Commission meeting.</p> <p> </p>

ADDITIONAL INFORMATION:

ATTACHMENTS:

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Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, April 4, 2023

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair Ted Rapp called the April 4, 2023 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Trina Flack, Glenn Hunter, Ted Rapp, Annette Renaud, Todd Ripper, and Randy Weisheit. Absent: Lisa West. Staff present: E.Jensen, E.Carstens, L.Hutzell, R.Kirschman, B.Fuglsang

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve the April 4, 2023 agenda without amendments. Second by G.Hunter. All voted aye. Motion carried 6 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

Rob Stephenson, 7393 NE Berwick Drive, referencing Agenda Item #5, said that he is not in favor of the annexation and feels it will be a huge negative impact on his family. He remarked on property taxes, city ordinances, sidewalks, street lights, and water rates. He hopes the city of Ankeny will work with him and his neighbors on these issues as the annexation moves forward.

Andy Swanson, 7560 NE Berwick Drive, referencing Agenda Item #5, said he had the same concerns as Mr. Stephenson with regard to the lack of benefits to the non-consenting property owners. He shared that there should be some type of benefit to the property owners, such as a tax abatement as they already have services provided to them. Mr. Swanson made references to The Ankeny 2040 comprehensive plan and spoke about zoning (R-1 vs R-2), agriculture/agrihoods, and environmental concerns. He also is against allowing a sewer line to run through his property. He closed by saying that their area is one of the most wooded areas and that it is critical for this area to be taken into consideration during the annexation process.

Alexandria Greim, 222 NW Abbie Drive, Ankeny, Attorney representing Andy Swanson. She said Mr. Swanson knows that the annexation will likely be inevitable. She stated that the concern is how this annexation will affect the non-consenting property owners, the impact of what this annexation will lead to with future development, the conformance of the overall comprehensive plan and the question as to what will come onto this property once it is part of the city of Ankeny in the future. She thanked the Commission for their time.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the March 21, 2023 minutes of the Plan and Zoning Commission meeting.

Item #2. 350 NE 36th Street - DMOS Temporary MRI Trailer Site Plan

Motion to approve the site plan for 350 NE 36th Street, DMOS Temporary MRI Trailer; allowing the temporary MRI trailer to remain on site until November 2023.

Item #3. 1505 NE 36th Street - Talons of Tuscany Pavilion Site Plan

Motion to approve the site plan for 1505 NE 36th Street, Talons of Tuscany Pavilion.

Item #4. 2012 SE Delaware Avenue - Chase Bank Site Plan

Motion to approve the site plan for 2012 SE Delaware Avenue, Chase Bank, subject to an approved easement and storm water management plan.

Referencing Item #2, G.Hunter shared that their request for the temporary MRI trailer, he believes, is exactly the same as their last request. He does not have an issue, but wondered if repetitive temporary site plans are the way this should be handled. T.Rapp further commented that when does temporary become permanent?

Motion by T.Flack to approve the recommendations for Consent Agenda Items #1 - #4. Second by R.Weisheit. All voted aye. Motion carried 6– 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

Item #5. Request by Hope K. Farms, LLC and Clayton Mitchell Living Trust for 80/20 voluntary urbanized annexation of property into the City of Ankeny

E.Carstens reported that the City of Ankeny has received a request for annexation of certain territory located adjacent to the City's southeastern boundary, generally located ¼-mile south of the intersection at SE Oralabor Road/NE 78th Avenue and NE Berwick Drive. The annexation territory consists of 140.40 total acres, including 111.18 acres, which are owned by property owners who consent to the annexation, 26.11 acres are owned by non-consenting property owners whose land is included in the annexation to avoid the creation of islands and to provide for uniform boundaries, and 3.11 acres of public road right-of-way. He said that the annexation area is currently identified in The Ankeny Plan 2040 Comprehensive Plan as Low-Density Residential and Open Space. The intent of Low-Density Residential is for there to be single-family homes. He shared that there are utilities in the area to serve this property. Staff recommends that the Plan and Zoning Commission recommend City Council approval of the Berwick-ATI Group 80/20 Voluntary Urbanized Annexation.

T.Flack confirmed that all the property owners on the west side of NE Berwick Drive are all non-consenting properties and asked what the reason was for annexing those properties. E.Carstens responded that it is to provide for uniform boundaries. T.Rapp confirmed that there have not been any utility extensions planned or proposed at this time for this area. E.Carstens stated, correct. E.Carstens noted that the City Development Board ultimately makes the decision to approve or disapprove of the annexation request. G.Hunter asked if Ankeny would take over the water system. E.Jensen said there is an agreement with Berwick Water that the city would take over water service in that area. R.Weisheit wanted clarification on the rezoning process, if the annexation was approved. E.Carstens responded by providing in detail the rezoning process.

Motion by G.Hunter to recommend City Council approval of the Berwick-ATI Group 80/20 Voluntary Urbanized Annexation. Second by R.Weisheit. All voted aye. Motion carried 6 – 0.

Item #6. Request to vacate a portion of Roadway Easement along SW 3rd Street at 2943 SW 3rd Street

E.Carstens reported that the City has received a request to vacate a portion of Roadway Easement along SW 3rd Street at 2943 SW 3rd Street, located south of W 1st Street and east of SW Irvinedale Drive. He said the easement runs through the existing home and at this time, a home sale is pending due to the home's location within the easement area. E.Carstens stated the history on this property is that the Roadway Easement was filed and recorded February 11, 1947 by the United States of America. In 1970, Polk County assigned the easement to the City of Ankeny; and in November 1973, a plat of survey was recorded for the applicant's property, which did not show the full width of the Roadway Easement. Subsequently, in November 1973, a building permit for a single-family home was

issued. He stated city staff has reviewed the current situation and public works is comfortable with the right-of-way that will remain. Staff recommends that the Plan and Zoning Commission recommend City Council approval of the request to vacate a portion of Roadway Easement along SW 3rd Street at 2943 SW 3rd Street.

Motion by R.Weisheit to recommend City Council approval of the request to vacate a portion of Roadway Easement along SW 3rd Street at 2943 SW 3rd Street. Second by T.Flack. All voted aye. Motion carried 6 – 0.

REPORTS

City Council Meeting

E.Jensen reported on the April 3, 2023 City Council meeting and presented the March 2023 Building Permit Report.

Director's Report

E.Jensen presented the tentative agenda items for the April 18, 2023 Plan and Zoning Commission meeting.

Commissioner's Reports

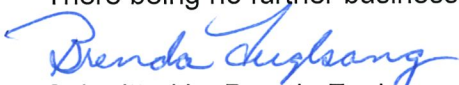
T.Rapp said that he has heard that NE 36th Street and NE Four Mile Drive will be closed to complete the intersection and that NE Frisk Drive will be closed for the county to repair the bridge. The concern was that it would limit the residents who live north of the bridge, east of NE Frisk Drive and NE Four Mile Drive with only one way out of the residential area. He said there was a question whether access can be limited to only one way out. E.Jensen said he would check and follow up with the Commission.

MISCELLANEOUS ITEMS

April 17, 2023 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 7:02 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

April 18, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

245 NW 18th Street - Lot 5 Northview Centre Plat 2 Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

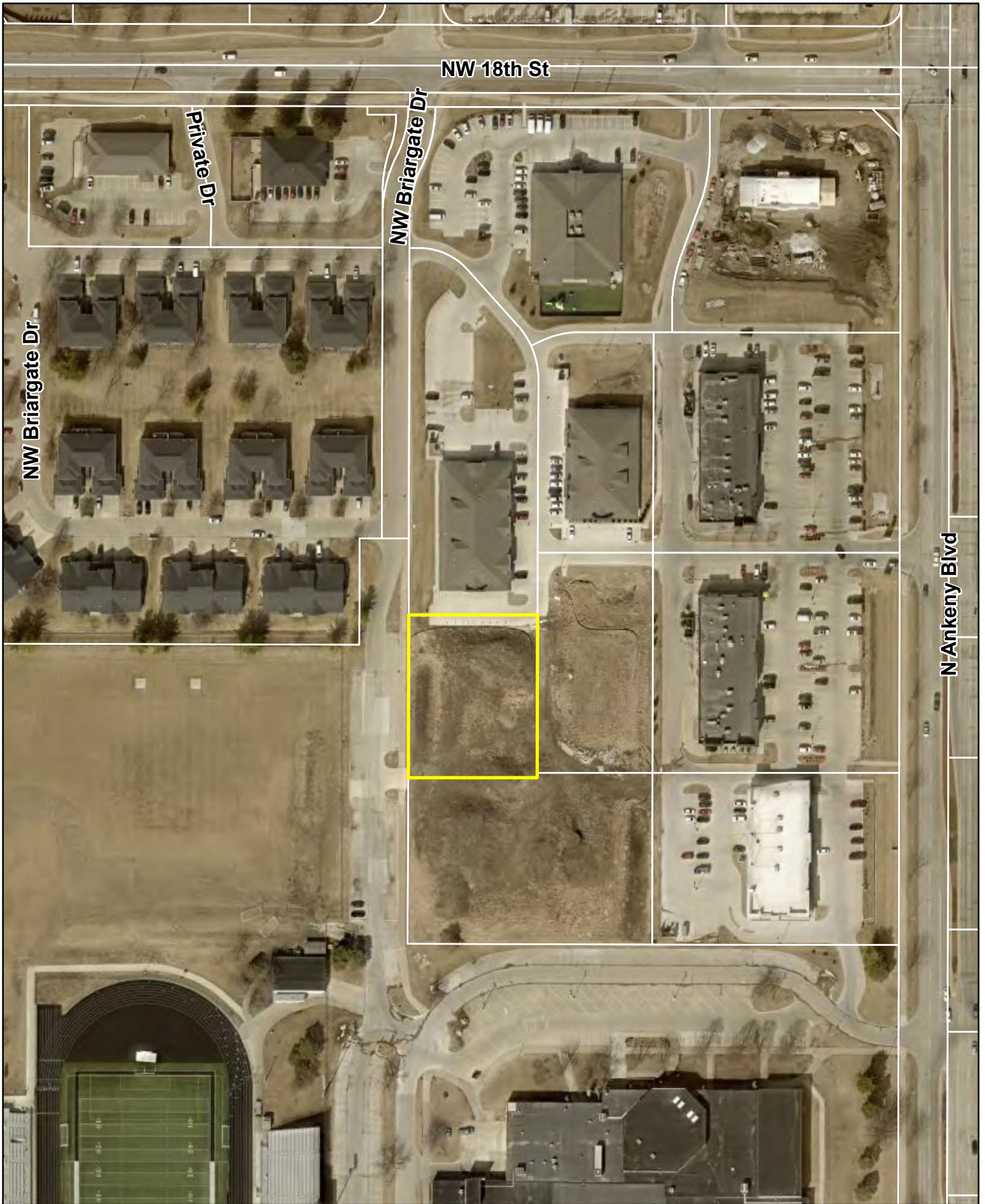
Action: Consider MOTION to approve the site plan for 245 NW 18th Street, Lot 5 Northview Centre Plat 2; subject to City Council approval of the public ingress egress easement.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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- | |
|--|
|  Aerial Map |
|  Staff Report |
|  Applicant Letter |
|  Site Plan |
|  Elevations |
|  Trash enclosure - elevations |



1 inch = 150 feet

Date: 4/10/2023

**Lot 5 Northview Centre Plat 2
Site Plan**



*Plan and Zoning Commission
Staff Report*

Meeting Date: April 18, 2023

Agenda Item: Lot 5 Northview Centre Plat 2 – Site Plan

Report Date: April 13, 2023

Prepared by: Jake Heil
Associate Planner

ESC

Staff Recommendation:

That the Plan and Zoning Commission approves the site plan for Lot 5 Northview Centre Plat 2; subject to City Council approval of the public ingress/egress easement.

Project Summary:

The subject property is located at 245 NW 18th Street and is generally located south of NW 18th Street and east of NW Briargate Drive; on Lot 5 Northview Centre Plat 2. The parcel is 0.72 Acres (+/-). The site is zoned C-2, General Retail and Highway Oriented Commercial District. The surrounding properties to the north, east, south and west are similarly zoned. The proposed development includes a new 10,000 sf multi-tenant building, parking lot, trash enclosure, stormwater detention pond and associated site improvements.

The proposed site will have two total access points; the southerly one will provide access to NW Briargate Drive and access to NW 18th Street to the north, while the other access provides access north through shared private drives and provides access to N Ankeny Boulevard to the east. Parking for the site requires 1 space per 400 sf of gross floor area for little or no customers and 1 space per 200 sf of gross floor area to areas with customers. The proposed site plan meets the required 36 parking spaces by providing 33 stalls in total; with 2 being handicap accessible and utilizing by a 10% multi-tenant reduction due to shared parking surrounding the site.

The proposed building will be similar to the buildings to the north, constructed of EIFS, Lap siding, stone, aluminum accents and glass. The proposed building materials conform to Section 192.02.3.B, providing over 50% primary materials on all elevations. The submitted site plan proposes the building to be located towards the west side of the site, with parking on the north, east and south sides of the building. The site does propose a trash enclosure to be located southwest of the proposed building along the private drive west of the site. The landscaping on the proposed site plan complies with applicable regulations.

New utility service connections and stormwater management area will be installed with this development. The proposed site will utilize the existing 6-inch water line on the west side of the site. 6-inch sanitary sewer service will connect to the existing 8-inch sanitary sewer stub that currently runs south of the site, which will carry wastewater easterly off-site to the Southeast Plant Lift Station near SE Magazine Rd/NE 86th Ave, and ultimately into the Four Mile Trunk Sewer. Stormwater for the proposed site is primarily handled by a stormwater detention basin located on the adjoining property to the east, as well as a small drainage area north of the proposed building. These basins will handle all of the stormwater for this proposed site. Stormwater then flows north and east where it will drain into an unnamed creek, stormwater continues flowing east along the unnamed creek which ultimately flows into Fourmile Creek.

Site Plan Worksheet
245 NW 18th Street – Lot 5 Northview Centre Plat 2 – Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The primary building is a multi-tenant space with the primary façades oriented to the west, north and south elevations. The proposed site is compatible and complimentary to the neighboring sites.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan complies with the landscaping and parking lot requirements of the code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking and circulation. The proposed site plan meets the required 36 parking spaces by providing 33 stalls in total; with 2 being handicap accessible and utilizing a 10% multi-tenant reduction due to shared parking surrounding the site. The site also provides improvements for safe pedestrian access around and through the site.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The proposed site will have two total access points; the southerly one will provide access to NW Briargate Drive and access to NW 18th Street to the north, while the other access provides access north through shared private drives and provides access to N Ankeny Boulevard to the east. The proposed site and use should not increase congestion or decrease safety on the site or surrounding public streets.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The primary parking for the site is located on the north, east and south sides of the proposed building. The proposed parking meets the requirements for off street parking as stated in Chapter 194.01.

6. **Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

The site does propose a trash enclosure, located southwest of the proposed building along the private drive. The trash enclosure will be constructed of stone matching the proposed building. The trash enclosure is further screened by shrubs and trees.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Stormwater for the proposed site is primarily handled by a stormwater detention basin located on the adjoining property to the east, as well as a small drainage area north of the proposed building. These basins will handle all of the stormwater for this proposed site. Stormwater then flows north and east where it will drain into an unnamed creek, stormwater continues flowing east along the unnamed creek which ultimately flows into Fourmile Creek.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The proposed site will utilize the existing 6-inch water line on the west side of the site. 6-inch sanitary sewer service will connect to the existing 8-inch sanitary sewer stub that currently runs south of the site, which will carry wastewater easterly off-site to the Southeast Plant Lift Station near SE Magazine Rd/NE 86th Ave, and ultimately into the Four Mile Trunk Sewer.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The site meets open space requirements, with the majority of the open space along the perimeter and west side of the site.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading and open space landscaping conform to the landscape requirements of the Code.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed building maintains the established scale of neighboring buildings and sites. The building will use the same materials as the buildings to the north of this site.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed building materials include EIFS, Lap siding, stone, aluminum accents and glass. These proposed materials meet the design standards set out in the code and will maintain the established design relationship with neighboring buildings and sites.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There are no proposed rooftop equipment, storage or service yards that need screening.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed building compliments the design and materials used on the site and adjacent sites to the north.

C. Signs

Locations of signs have been shown on the submitted plans; however final design and allowances will be determined with future sign permits.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted conform to the written regulations of the City.

2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.

The location of the building is toward the west side of the site. The proposed building and site development match the neighboring building and uses.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The site provides for adequate vehicular parking and circulation, as well as uninhibited on-site pedestrian movement.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed façade is compatible with the surrounding neighborhood.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impacts on these utility systems can be accommodated adequately.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

June 24, 2022

Planning and Zoning Commission
City of Ankeny
c/o Jacob Heil
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RE: Lot 5 Northview Centre Plat 2 – 245 NW 18th Street
Site Plan

Planning and Zoning Commission;

On behalf of DLE Seven, LLC, we respectfully submit herewith the Site Plan for 245 NW 18th Street, in request for approval. These documents were prepared in accordance with Ankeny's standards and meet the requirements of the C-2 General Retail, Highway Oriented and Central Business District zoning.

The proposed site improvements will include a 10,000 square foot building on an approximate 0.72 acre site. Construction is anticipated to start in July 2022.

Please contact me if you have any questions.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

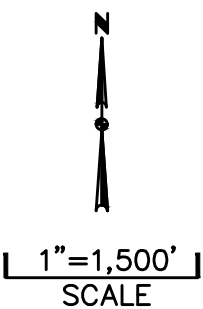
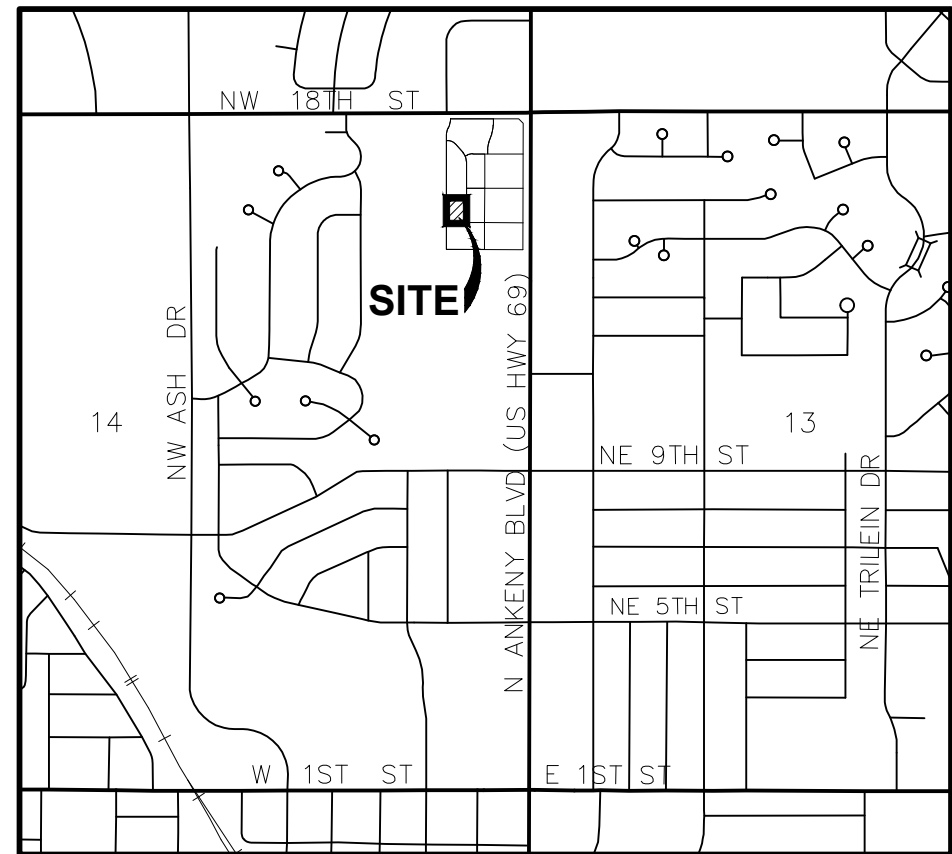
Emily Harding, P.E.

cc: Chris Murray, DLE Seven

SITE PLAN FOR:
LOT 5 - NORTHVIEW CENTRE PLAT 2
ANKENY, IOWA

VICINITY MAP

NOT TO SCALE



LEGAL DESCRIPTION

LOT 5, NORTHVIEW CENTRE PLAT 2

ADDRESS

245 NW 18TH STREET

ZONING

C-2: GENERAL RETAIL, HIGHWAY ORIENTED AND CENTRAL BUSINESS DISTRICT

OWNER / APPLICANT

DLE SEVEN, LLC
CONTACT: CHRIS MURRAY
P.O. BOX 187
ANKENY, IOWA 50021
PH: (515) 964-1587

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: EMILY HARDING
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: (515) 369-4400
FX: (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: (515) 369-4400
FX: (515) 369-4410

ARCHITECT

SIMONSON & ASSOCIATES ARCHITECTS, LLC
1717 INGERSOLL AVE # 117
DES MOINES, IOWA 50309
PH: (515) 440-5626
FX: (515) 440-0964

SUBMITTAL DATES

FIRST SUBMITTAL: 06/03/2022
SECOND SUBMITTAL: 06/24/2022
THIRD SUBMITTAL: 09/16/2022

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	—————
LOT LINE	—————
SECTION LINE	—————
CENTER LINE	—————
RIGHT OF WAY	——— R/W ———
PERMANENT EASEMENT	——— P/E ———
TEMPORARY EASEMENT	——— T/E ———
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	————— 8"S —————
SANITARY SERVICE	————— S ——— S ——— S ———
STORM SEWER	—————
STORM SERVICE	————— ST ——— ST ———
WATERMAIN WITH SIZE	————— 8"W —————
WATER SERVICE	————— W ——— W ———
SAWCUT (FULL DEPTH)	—————
SILT FENCE	—————

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	————— TV ———
GAS MAIN	————— G ———
FIBER OPTIC	————— FO ———
UNDERGROUND TELEPHONE	————— T ———
OVERHEAD ELECTRIC	————— OE ———
UNDERGROUND ELECTRIC	————— E ———
FIELD TILE	————— TILE ———
SANITARY SEWER W/ SIZE	————— 8"S ———
STORM SEWER W/ SIZE	————— 15" RCP ———
WATER MAIN W/ SIZE	————— 8"W ———

DEVELOPMENT SUMMARY

AREA: 31,343 (0.72 AC.)

SETBACKS:

FRONT: 35'
SIDE: NONE EXCEPT ADJACENT TO RESIDENTIAL (25')
REAR: 40'

OPEN SPACE:

TOTAL SITE: = 31,343 (0.72 AC.)
BUILDING = 10,000 SF
VEHICULAR PAVEMENT = 11,253 SF
OPEN SPACE PROVIDED = 10,090 SF (32.2%)

PARKING:

5,600 SF OFFICE: 1 SPACE/ 400 SF = 14 SPACES
(LITTLE OR NO CUSTOMERS)
4,400 SF OFFICE: 1 SPACE/ 200 SF = 22 SPACES
(WITH CUSTOMERS)

REQUIRED = 36 SPACES
10% MULTI-TENANT REDUCTION = -3 SPACES
TOTAL REQUIRED = 33 SPACES
TOTAL PROVIDED = 33 SPACES

ERU CALCULATION

IMPERVIOUS SURFACES:
BUILDING = 10,000 SF
PAVEMENT (INCLUDES SIDEWALKS) = 14,699 SF

IMPERVIOUS SURFACES = 24,699 SF

ERU TOTAL (IMPERVIOUS/4,000 SF) = 7

BENCHMARKS

- CITY OF ANKENY BM#127, IDOT BM @ NW COR TOP OF WING WALL OF BRIDGE OVER FOUR MILE CREEK ON 100TH. ELEVATION = 922.03
- SET BM ARROW ON HYDRANT ON NORTHVIEW DR 520'+/- SOUTH OF NW 18TH ST ON WEST SIDE OF SITE. ELEVATION = 964.10



UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

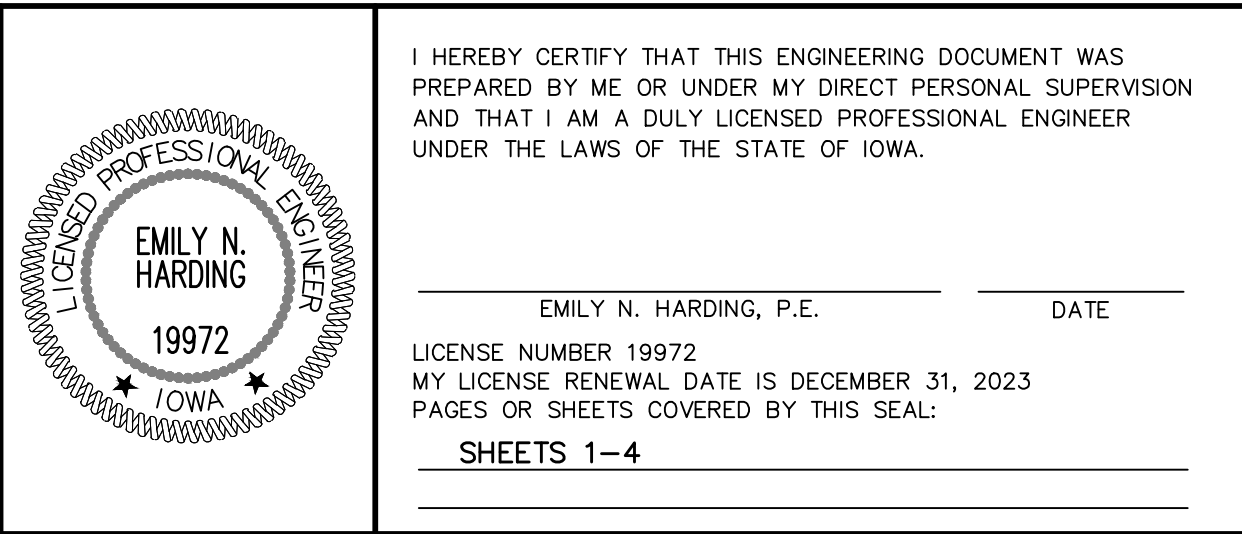


THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY COSESCO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

EMILY N. HARDING, P.E. DATE

LICENSE NUMBER 19972
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:

SHEETS 1-4

GENERAL NOTES

- THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S DEVELOPMENT ENGINEERING.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
- ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS. INSTALL SOD UNDER ALL SCOUR STOP AND TURF REINFORCEMENT MAT (TRM).
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK/SHARED USE PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK/SHARED USE PATH CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

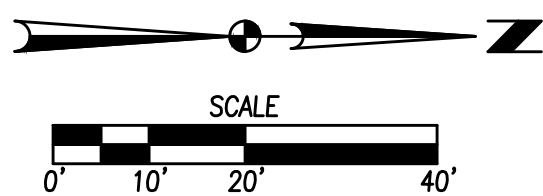
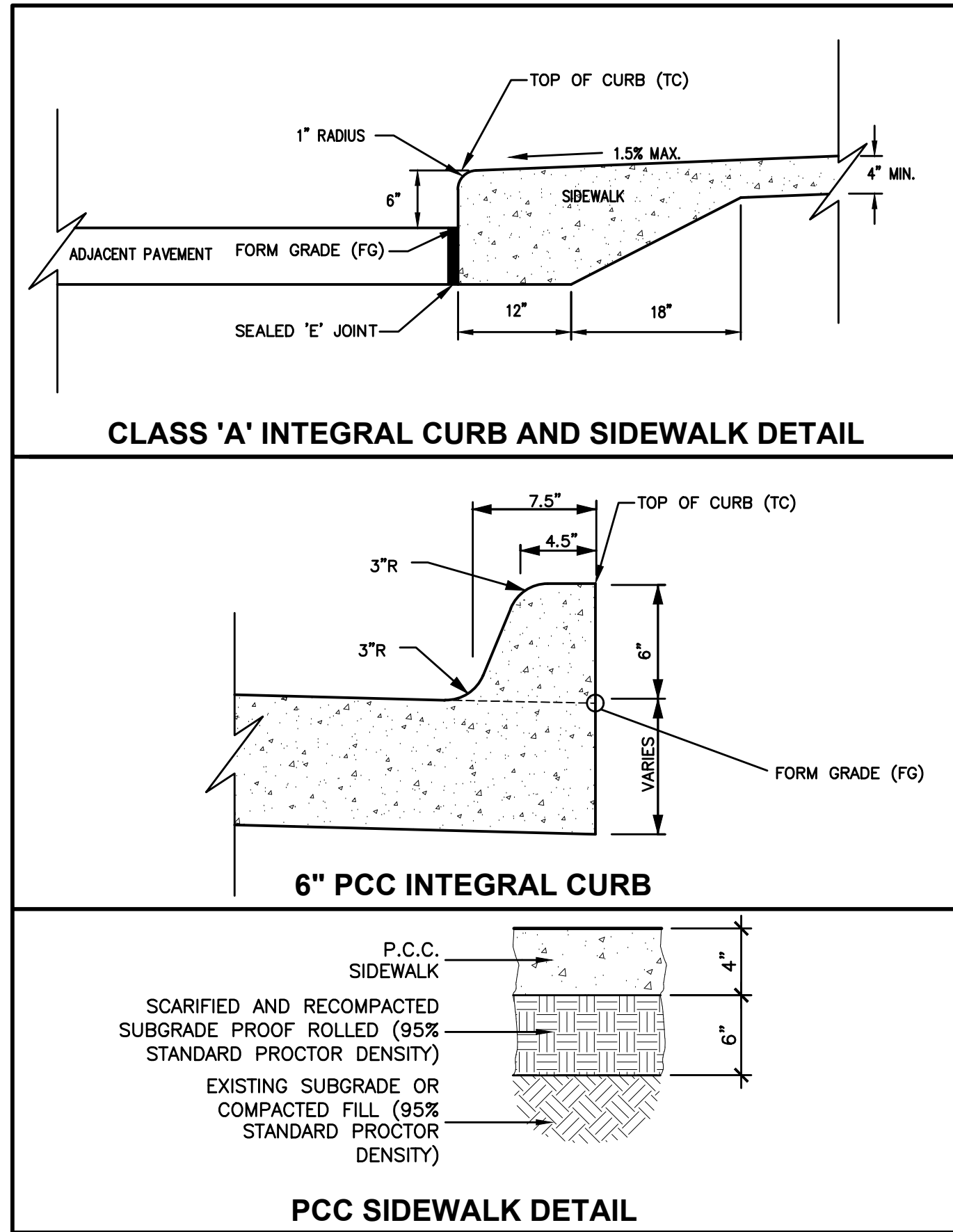
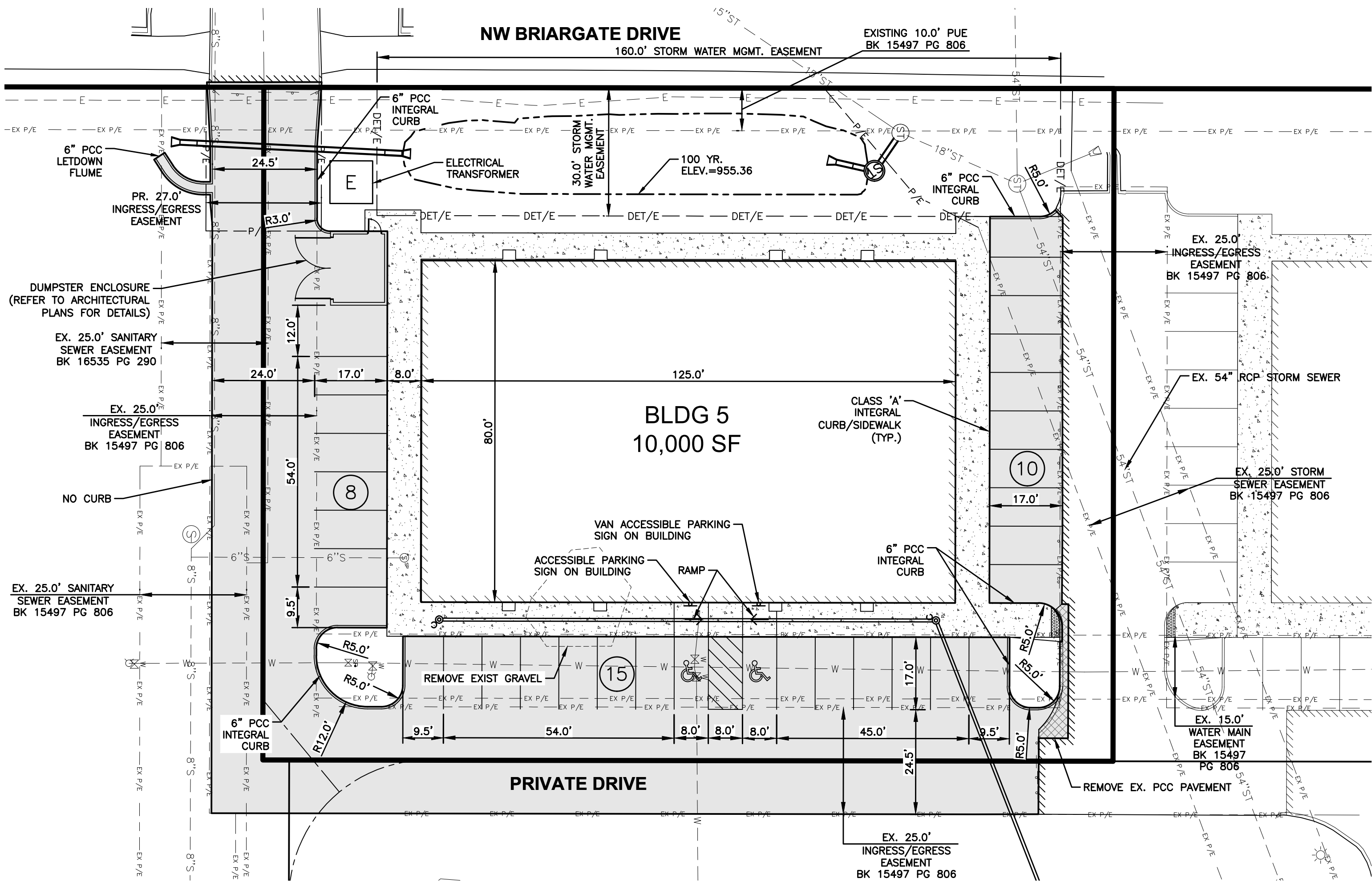
- | | |
|-----------------------------------|-----------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. SIDEWALK RAMPS | 6" P.C.C. |
| 3. DRIVE AISLES | 7" P.C.C. |
| 4. PARKING STALLS | 6" P.C.C. |
| 5. DUMPSTER ENCLOSURE & FRONT 20' | 8" P.C.C. |

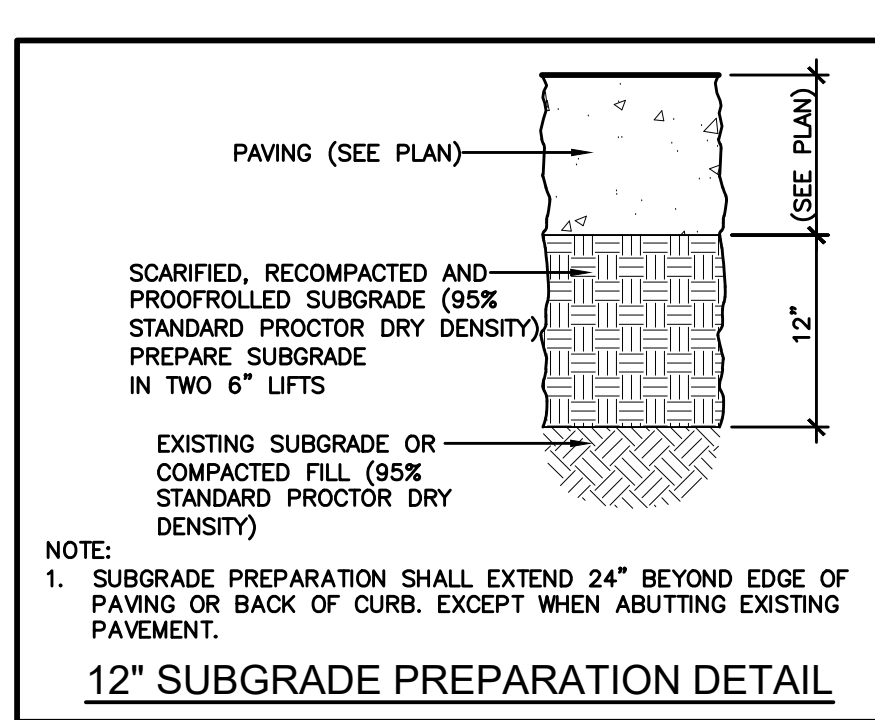


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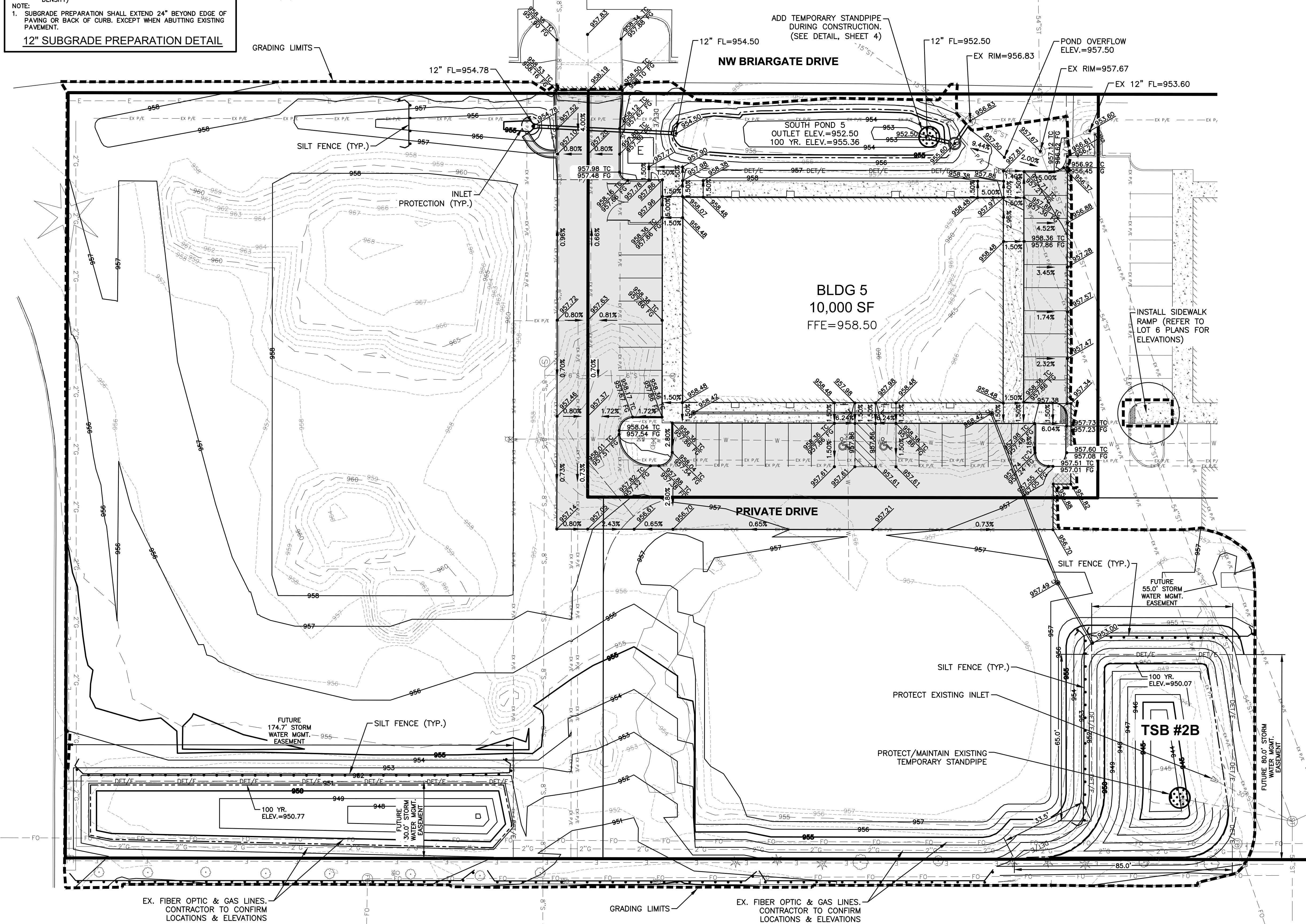
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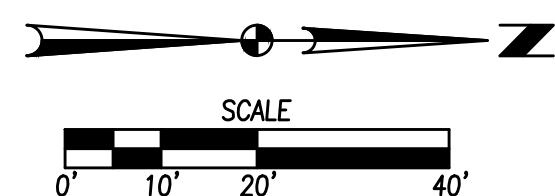
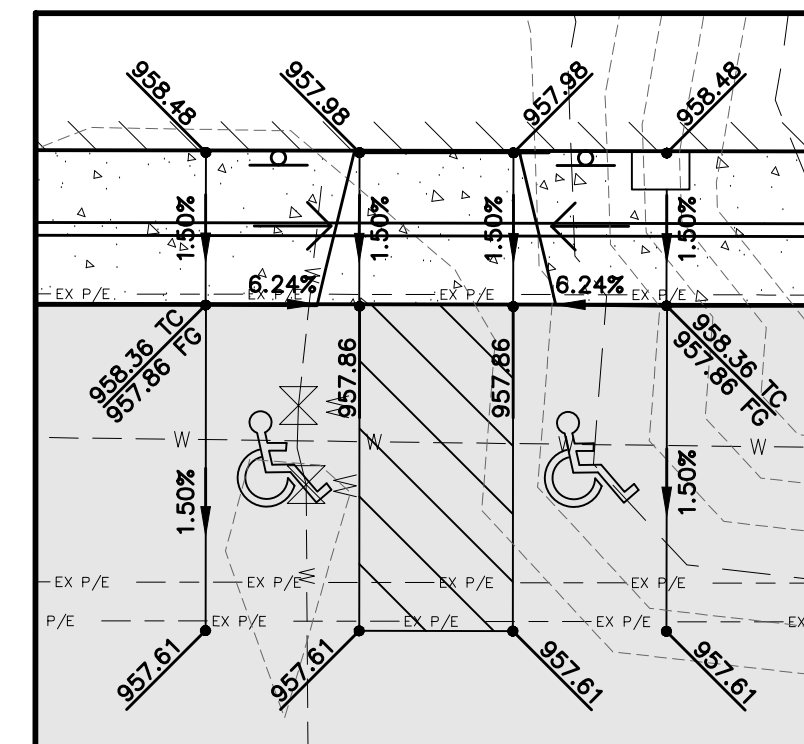
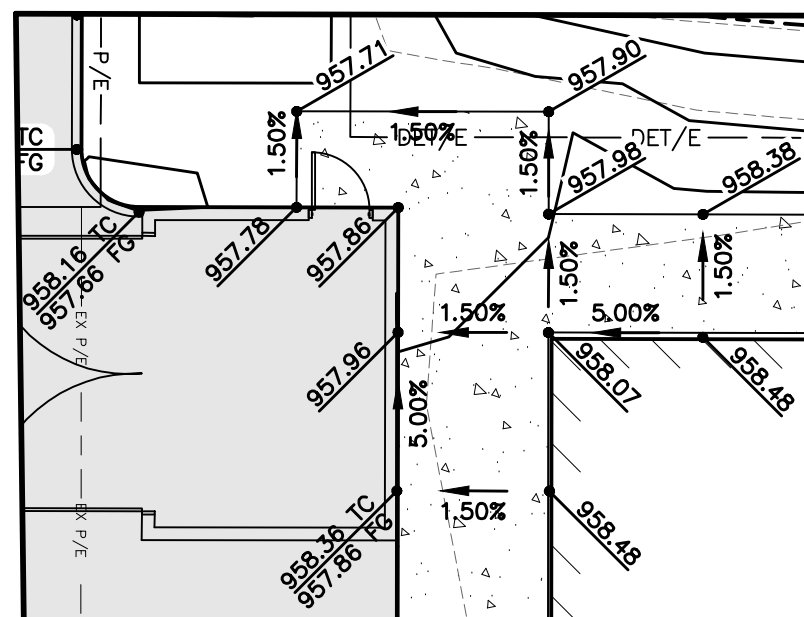
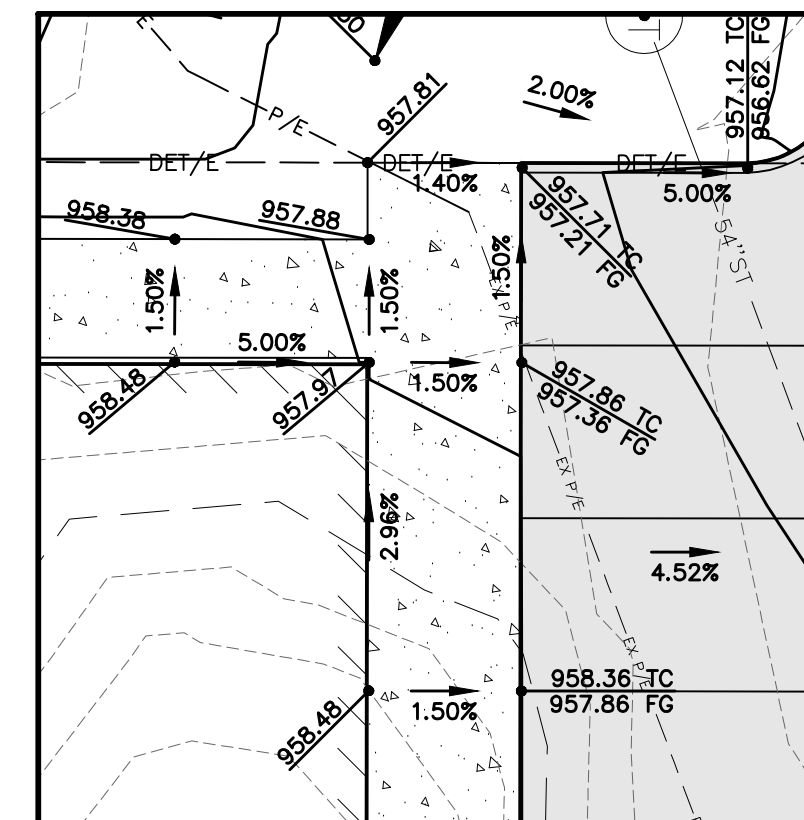
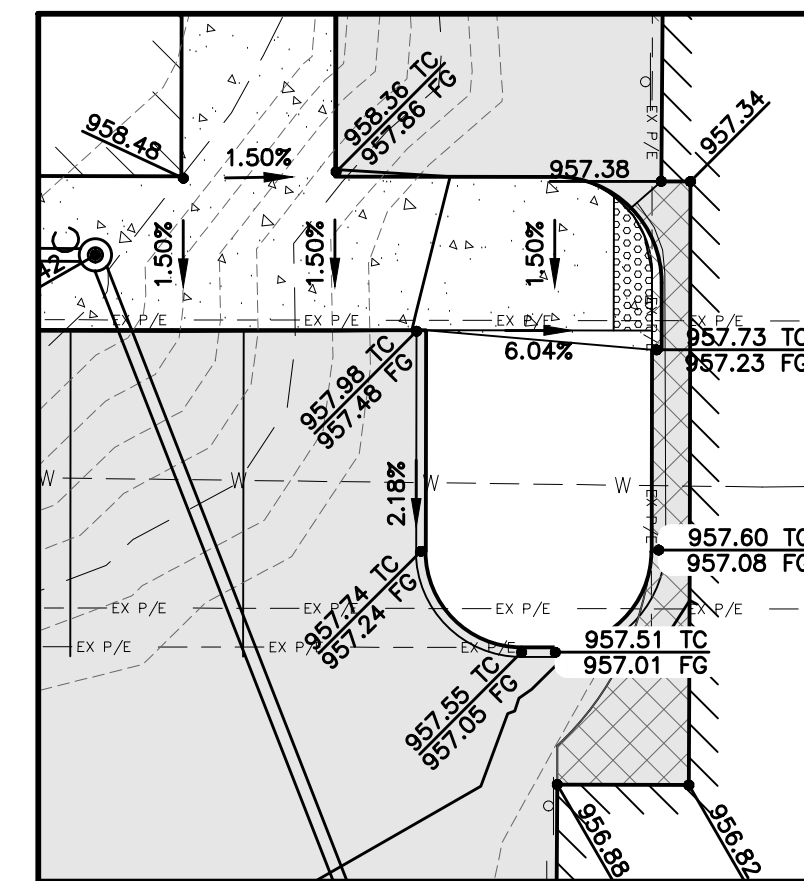


GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S STORMWATER DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2022 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.
14. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION OF THE SITE, SILT WILL BE DREDGED FROM THE BASIN AND THE STORAGE VOLUME WILL BE VERIFIED. PROOF OF BASIN GRADES WILL BE PROVIDED TO THE CITY AND IS REQUIRED BEFORE A FINAL CERTIFICATE OF OCCUPANCY (CO) CAN BE ISSUED.



DISTURBED AREA = 3.01 ACRES



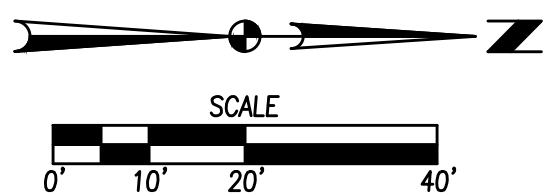
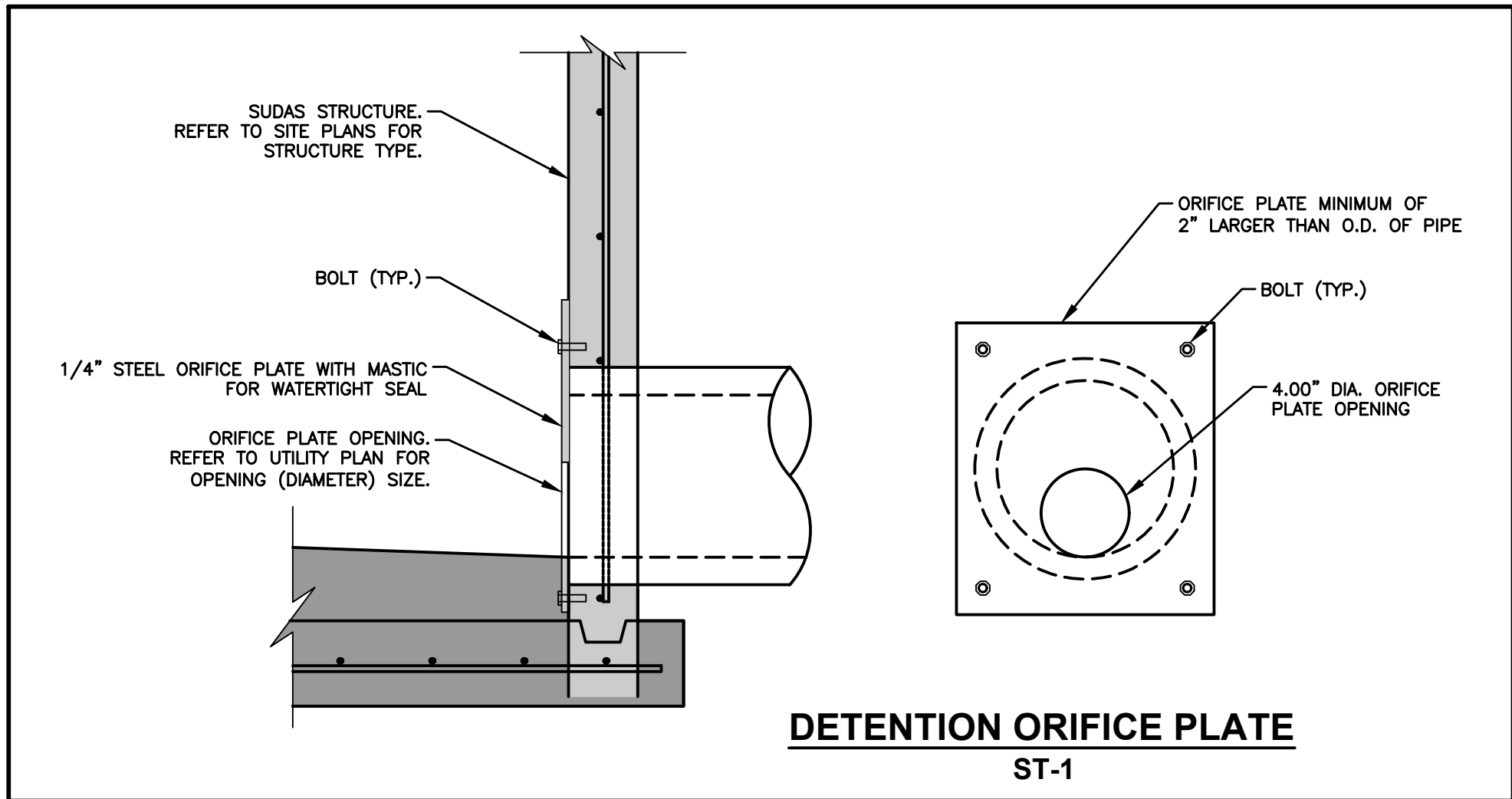
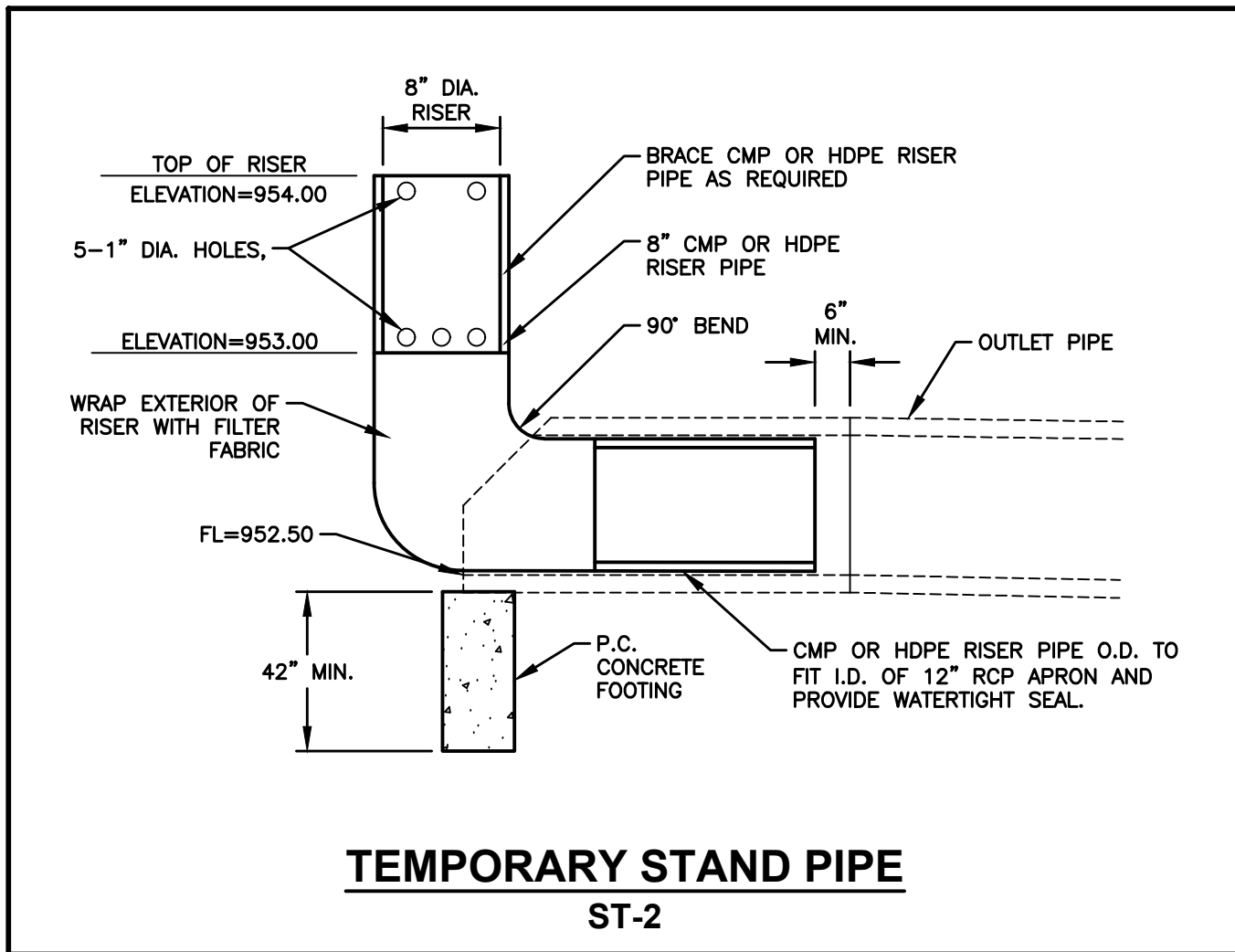
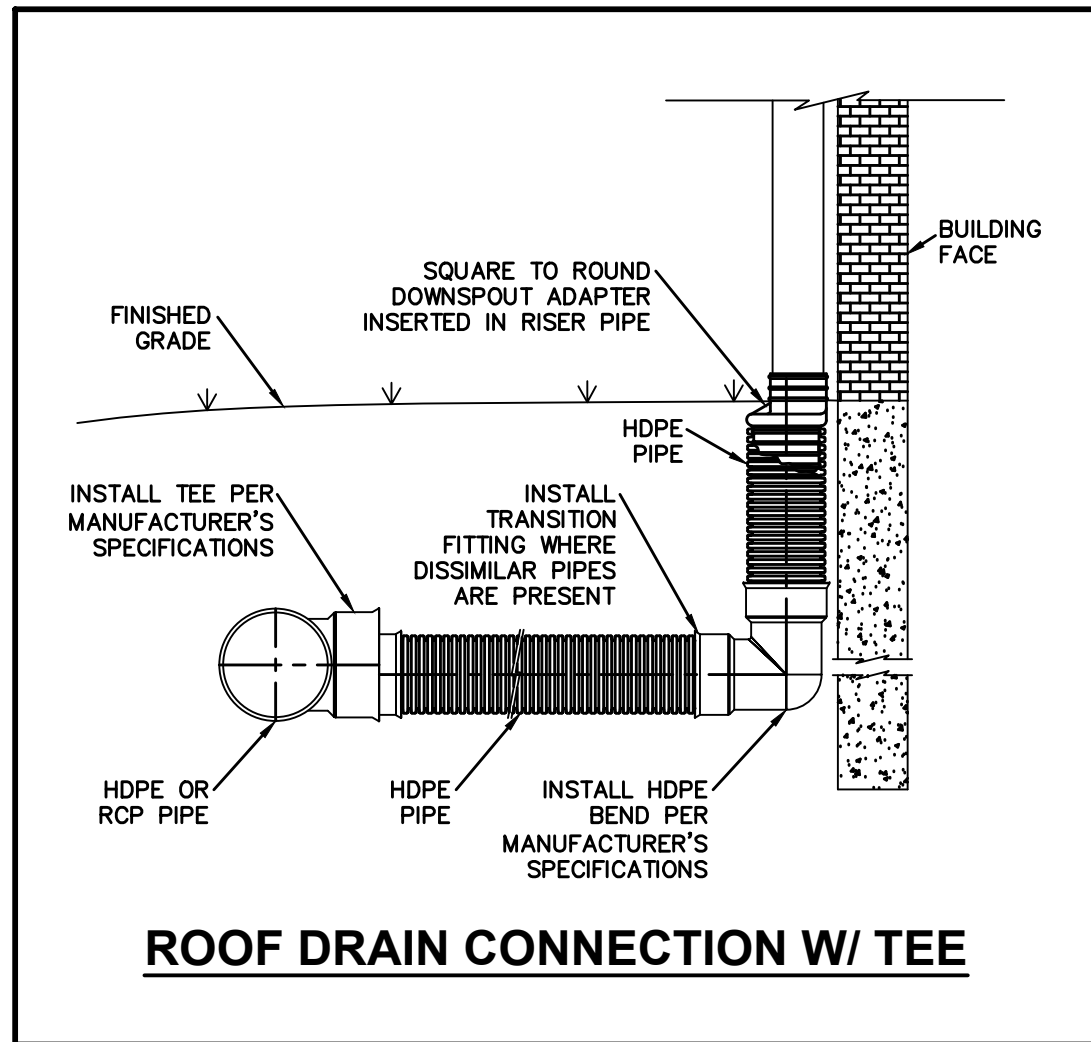
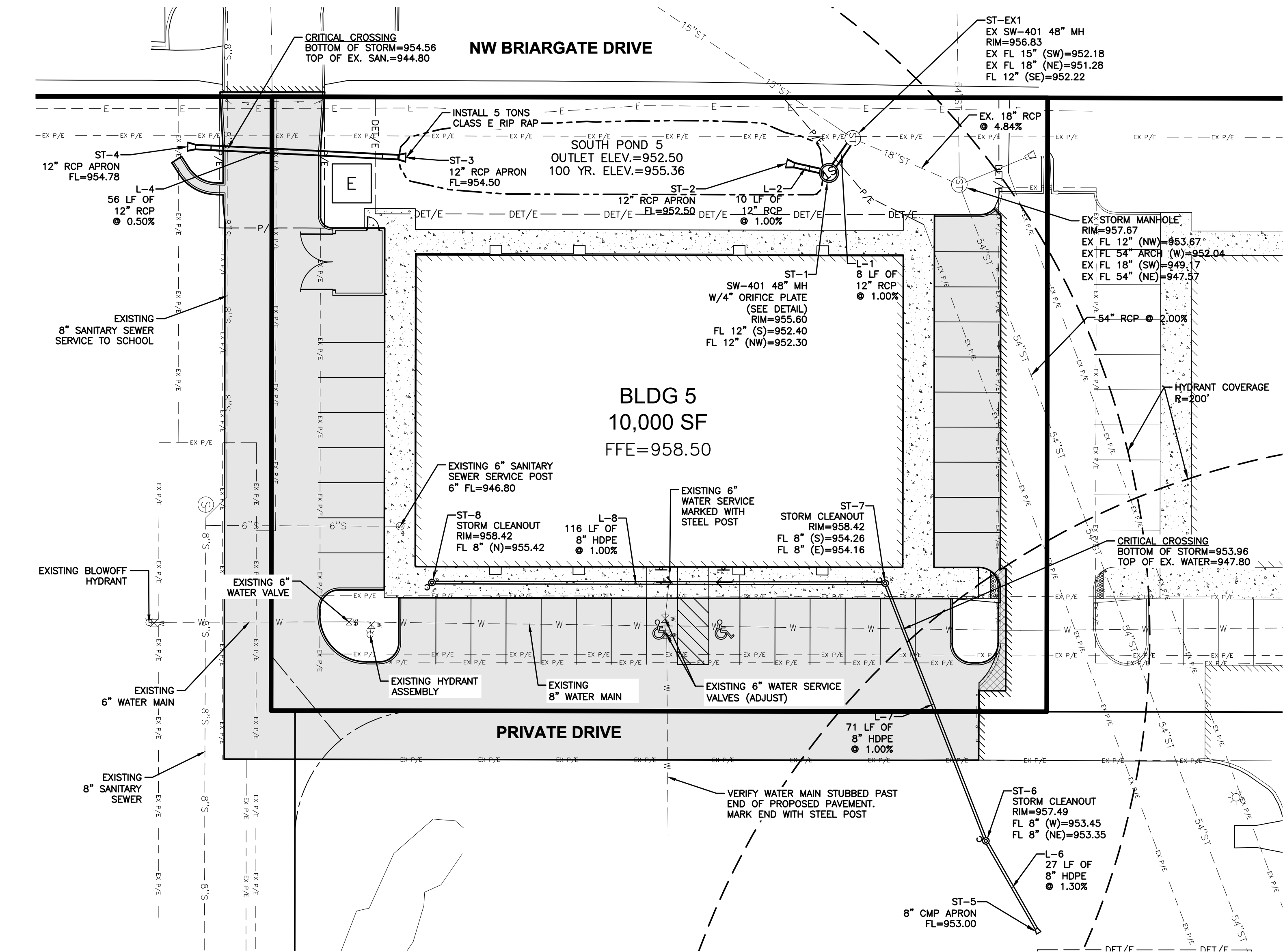
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PLOTED BY: J. H. HARDING
DATE: 9/16/2022 10:14 AM

COMMENTS:
DRAWING

UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, THE 2022 EDITION OF SUDAS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. STORM SEWER PIPE LENGTH INCLUDES APRON LENGTH.
17. ADJUST ANY EXISTING WATER VALVE, INTAKE OR STRUCTURE AS NECESSARY.

NOTE:
REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR NORTHVIEW CENTRE PLAT 2 FOR ALL WATER, SANITARY SEWER AND PUBLIC STORM SEWER INFORMATION.



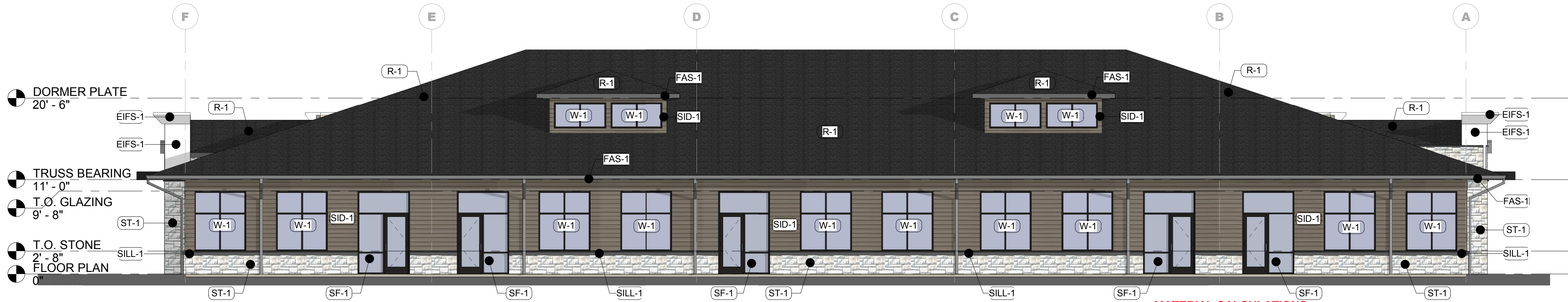
NORTHVIEW CENTRE PLAT 2 - LOT 5
245 NW 18TH STREET
UTILITY PLAN

DATE	REVISIONS	TECH:	ENGINEER: ENH
09/16/2022			
06/24/2022			
06/03/2022			
	THIRD SUBMITTAL		
	SECOND SUBMITTAL		
	FIRST SUBMITTAL		

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

CIVIL DESIGN ADVANTAGE

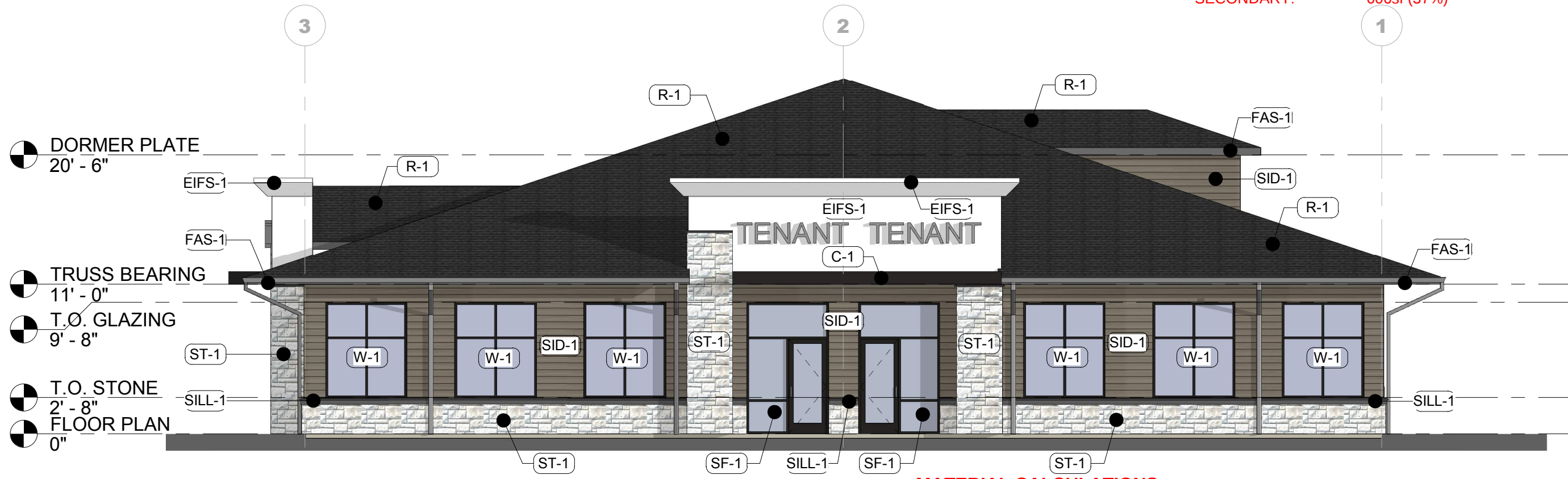
ANKENY, IOWA



MATERIAL CALCULATIONS:
TOTAL WALL AREA: 1,640sf
GLAZING: 710sf
STONE: 324sf
PRIMARY MATERIAL: 1,034sf (63%)

SID-1: 606sf
SECONDARY: 606sf (37%)

1 WEST ELEVATION
1/8" = 1'-0"



MATERIAL CALCULATIONS:
TOTAL WALL AREA: 1,075sf
GLAZING: 368sf
STONE: 271sf
PRIMARY MATERIAL: 639sf (59.4%)

EIFS: 168sf
SID-1: 268sf
SECONDARY: 436sf (40.6%)

2 NORTH ELEVATION
1/8" = 1'-0"



MATERIAL CALCULATIONS:
TOTAL WALL AREA: 2,214sf
GLAZING: 584sf
STONE: 529sf
PRIMARY MATERIAL: 1,113sf (50.3%)

EIFS: 537sf
SID-1: 564sf
SECONDARY: 1,101sf (49.7%)

3 EAST ELEVATION
1/8" = 1'-0"



MATERIAL CALCULATIONS:
TOTAL WALL AREA: 1,075sf
GLAZING: 368sf
STONE: 271sf
PRIMARY MATERIAL: 639sf (59.4%)

EIFS: 168sf
SID-1: 268sf
SECONDARY: 436sf (40.6%)

4 SOUTH ELEVATION
1/8" = 1'-0"

GENERAL EXTERIOR ELEVATION PLAN NOTES

1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
2. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND TO UNDER UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL.
3. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
4. MATERIALS ABOVE CANOPIES & AWNINGS TO BE CONTINUED DOWN BEHIND THEM U.O.N., TYP.
5. NO EXPOSED MASONRY/MATERIAL CORES.
6. INSTALL VERTICAL EXPANSION JOINTS PER STRUCTURAL OR MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING. KEEP AWAY 2'-8" MIN.
7. CAULK & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
8. PROVIDE PREFERABLY CAST REGLETS JUST IN FROM THE OUTER EDGE ON UNDERSIDE OF FACE MATERIAL AT OVERHANGS & SOFFITS.
9. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRINKLER PIPE FREEZING.
10. WHERE EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF PAVING TO BE 14" LOWER THAN INTERIOR FINISH FLOOR, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. WHERE DOOR STOOP, 48" OUT FROM DOOR 1:48(2%) MAX. SLOPE, AFTER 48" AWAY FROM DOOR 1:20(5%) MAXIMUM SLOPE TO PUBLIC WAY. (REFER TO CIVIL)
11. WHERE NO EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF FINISHED LANDSCAPE A MINIMUM OF 4" BELOW INTERIOR FINISH FLOOR AND 4" BELOW EXTERIOR WALL FLASHING/WEEPS, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. (REFER TO CIVIL)
12. ADDRESS SHALL BE PROVIDED ON STREET SIDE OF BUILDING AND ON MONUMENT SIGN. NUMBERS A MINIMUM 5 INCH CONTRASTING COLOR NUMBERS WITH MINIMUM 1/2" STROKE.
13. IF ANY SIGNAGE OR SIGN BASE IS SHOWN IT IS FOR REFERENCE ONLY. FINAL DESIGNS AND/OR ALLOWANCES SHALL BE DETERMINED WITH APPROVED SIGNAGE PERMIT(S).

EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
C-1	FLAT PROFILE: DARK BRONZE FINISH; 3" OVERHANG 12" FASCIA, FLAT SOFFIT
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR TO MATCH ST-1)
FAS-1	METAL FASCIA: COLOR TO MATCH ADJACENT MATERIAL U.O.N.
R-1	ARCHITECTURAL ASPHALT ROOF: WEATHER WOOD COLOR
SF-1	T.B. ALUMINUM STOREFRONT FRAMING: DARK BRONZE FINISH
SID-1	CERTAINTED LP SMART SIDING: 4" LAP
SILL-1	CULTURED STONE SILL PROFILE: SMOOTH, MATCH ST-1; NATURAL MORTAR
ST-1	CULTURED STONE VENEER: BUFF, GROUTED; NATURAL MORTAR
W-1	ALUM. CLAD WINDOW W/ INSULATED GLAZING; DARK BRONZE FINISH

NORTHVIEW LOT - 5

ANKENY, IA

NOT FOR CONSTRUCTION

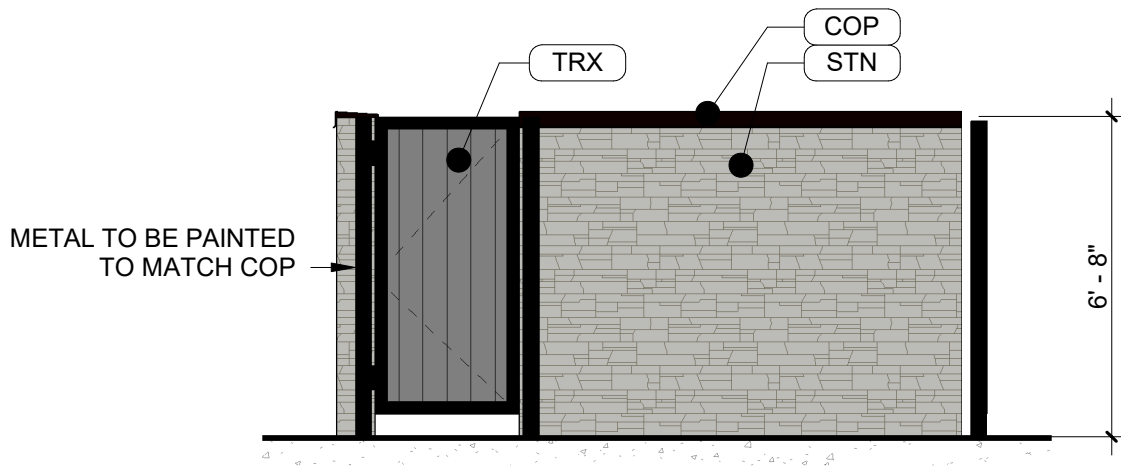
Rev. #	Issue / Revision	Date
1	ISSUED FOR SITE PLAN APPROVAL	02.14.2018

Proj. No. SAA Proj. Mgr. 07101E CS
Sheet Title

EXTERIOR ELEVATIONS

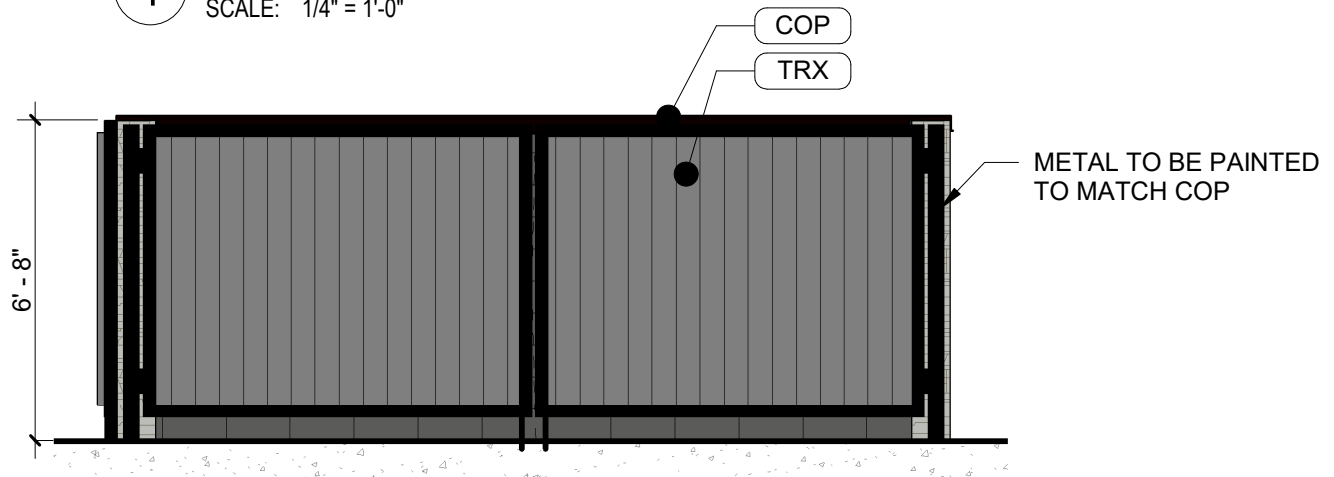
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A-200



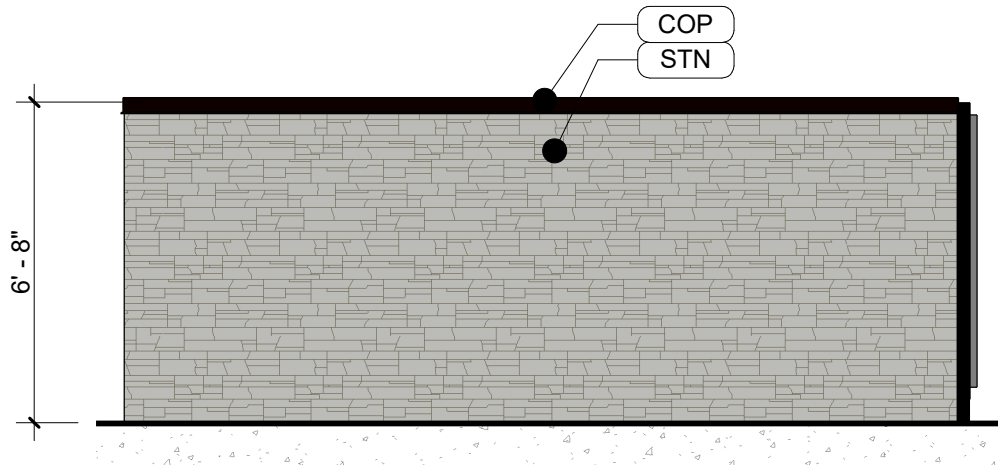
1 TRASH ENCLOSURE SIDE

SCALE: 1/4" = 1'-0"



2 TRASH ENCLOSURE FRONT

SCALE: 1/4" = 1'-0"



3 TRASH ENCLOSURE BACK/SIDE

SCALE: 1/4" = 1'-0"

simonson

simonson & associates architects LLC
1717 ingersoll avenue suite 117 des moines ia 50309
phn 515 440 5626 www.simonsonassoc.com

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NORTHVIEW CENTRE - LOT
225 NW 18TH STREET
ANKENY, IA

Job No. 07101E Proj. Mgr. CS

Date 05/04/18

Title **TRASH ENCLOSURE ELEVATIONS**
Sheet **M-202**



PLAN AND ZONING COMMISSION

April 18, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

575 NE 47th Street - Creekside Park Improvements Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 575 NE 47th Street, Creekside Park Improvements.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations



N



1 inch = 285 feet

Date: 3/29/2023

**Creekside Park Improvements - 575 NE 47th St.
Site Plan**



*Plan and Zoning Commission
Staff Report*

Meeting Date: April 18, 2023

Agenda Item: Creekside Park Improvements – 575 NE 47th Street Site Plan

Report Date: April 12, 2023

Prepared by: Laura Hutzell
Associate Planner

ESC

Recommendation:

That the Plan and Zoning Commission approve the site plan for Creekside Park Improvements located at 575 NE 47th Street.

Project Summary:

The subject site is approximately 4.18 acres (+/-), located South of NE 47th Street between NE Wanda Drive and NE Briarwood Drive, bordering Fourmile Creek.

The City of Ankeny is proposing to construct a playground with a poured-in-place rubber surface, an open shelter, and associated sidewalk connection to an existing 8' wide trail. Improvements also include water utility service for a drinking fountain near the playground area.

The open shelter is proposed to have a max height just over 13 feet and be either brown or green in color, similar to other park shelters in the City of Ankeny. The site plan proposes planting a number of trees on the site to provide shade in and around the park area.

There is no dedicated parking area associated with the proposed project. Pedestrian access to the park will be via existing sidewalk along NE 47th Street and the trail on the west side of the site.

A trash receptacle, similar to those located in other parks around the City, is anticipated to be installed near the shelter.

**Site Plan Worksheet
Creekside Park Improvements
575 NE 47th Street**

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The shelter and playground area are located just south of NE 47th Street bordering Fourmile Creek. This location was primarily dictated by the floodplain in this area. The proposed improvements will be compatible with the surrounding neighborhood, which consists primarily of single-family residences.

An 8-foot trail exists on the west side of the site. This trail connects to existing sidewalk along NE 47th Street.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

Ankeny Municipal Code allows publicly owned parks, playgrounds, golf courses, and recreation areas within Planned Unit Development zoned areas.

The subject site is surrounded by single-family detached homes and the streetscape will not change drastically from what previously existed aside from the installation of the shelter and playground area. The City Parks and Recreation Director anticipates planting additional trees on the site to provide shade.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

No dedicated parking area is proposed for the subject site. Pedestrian and bicycle access to the site will be from the existing 8' trail on the west of the site, which connects to the existing sidewalk along NE 47th Street. On street parking is also permitted along the south side of NE 47th Street.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

A traffic memo was provided. No significant traffic impact is anticipated with the proposed site improvements.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

No parking area is proposed with the site plan.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

A standard trash receptacle is proposed to be installed near the shelter. The receptacle will be similar to others located within City owned parks within the community. It will be fully enclosed and have a top that will keep wildlife from being able to access the contents.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

A 1-inch water line is proposed to connect to an existing 10-inch line along NE 47th Street on the north side of the site. The new 1-inch line is meant to provide service to the proposed drinking fountain on the site.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

No lighting is currently proposed for the site.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

There is an existing storm sewer easement just south of the proposed playground. The site also sits within the 100-year floodplain therefore the applicant is required to obtain a flood permit prior to any construction on site.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

A 1-inch water line is proposed and will connect to an existing line along NE 47th Street. This line is meant to service the water fountain proposed as part of the site improvements.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The majority of the site will remain open space with only the installation of the shelter and playground area having a more significant visual impact on the site.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The site plan proposes a number of trees be planted on site to provide for shade.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

A park shelter and playground are the only structures proposed for the subject site.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The shelter will be comprised entirely out of metal and be either brown or green in color, similar to other park shelters within the City.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

A trash receptacle is anticipated to be installed near the shelter and will be entirely enclosed.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The shelter and playground are the only structures proposed for the subject site.

C. Signs

- 1. Every sign shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

A ground sign is proposed in the northwest corner of the site. Ankeny Municipal Code does not require sign permits be submitted for City, County or State signs. The City Parks and Recreation Director anticipates that the sign will look similar to other park signs within the community.

- 2. Building signs shall be designed as an integral architectural element of the building.**

No building signs are anticipated.

- 3. Yard signs shall be designed to provide elements compatible with the building design and architectural elements.**

A ground sign is proposed in the northwest corner of the site adjacent to NE 47th Street.

- 4. Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

Signs shown are for reference only. City staff anticipate that the ground sign shown would match other existing park signs within the City.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The location of the playground area and shelter are appropriate for the site and will have a fairly minimal impact on the surrounding neighborhood. A floodplain permit will be required.

- 3. Layout and utilization of building, parking, driveways, and open spaces.**

The proposed site layout and pedestrian/bicycle traffic circulation is appropriate.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed shelter is similar to other park shelters in the City.

5. Circulation - vehicular and pedestrian

City staff does not believe that any major impact to traffic will occur with the proposed improvements.

6. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impacts on these utility systems can be accommodated adequately.



1933 SW Magazine Road
Ankeny, IA 50023
(515) 965-0123 office / (515) 965-3322 fax
nillesinc.com

April 18, 2023

City of Ankeny
410 W 1st St
Ankeny, Iowa 50023

**RE: Creekside Park Improvements
Approval Letter**

Plan and Zoning Commission, Honorable Mayor and Members of the City Council:

On behalf of the Ankeny Parks & Recreation Department, we are pleased to submit the construction drawings for Creekside Park Improvements, a mini park located on the south side of NE 47th Street between NE Wanda Drive and NE Briarwood Drive, bordering Fourmile Creek. The proposed address is 575 NE 47th Street.

The project improvements include construction of a playground with a poured-in-place rubber surface, open shelter, and associated sidewalk connection to an existing 8' wide trail. Improvements include water utility service to a drinking fountain.

We have addressed staff technical review comments and request approval to proceed with a bidding process to start construction this summer/fall. Thank you very much for your time and consideration.

Sincerely,

A handwritten signature in blue ink that reads "Tara Bounds".

Tara M. Bounds, PLA, ASLA
NILLES ASSOCIATES, INC.

CREEKSIDE PARK IMPROVEMENTS

575 NE 47TH STREET, ANKENY, IOWA

NAI #23006

EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

LEGEND

Existing / Proposed

● ▲

○ △

IR

IP

PCC

ACC

FL

RCP

CMP

OPP

PVC

CIP

P.U.E.

S.W.F.E.

B/B

Found monument 5/8" IR with red cap #18530 unless otherwise noted

Set monument 5/8" IR with red cap #18530 unless otherwise noted

Round iron rebar

Round iron pipe

Portland cement concrete

Asphaltic cement concrete

Pipe flowline elevation

Reinforced concrete pipe

Corrugated metal pipe

Corrugated plastic pipe

Polyvinyl chloride pipe

Cast iron pipe

Public utility easement

Surface water flowage easement

Back of curb to back of curb

Section boundary line

Proposed boundary line

Existing boundary line

Future boundary line

Underlying boundary line

Proposed easement line

Existing easement line

Setback line

Barbed wire fence line

Chain-link fence line

Straw Wattle

SF fence

SS

ST

W

G

OHE

OHC

UGE

TV

UGC

900'

Contour elevation

Swale flowline

Edge of water

Edge of tree dripline

Construction limits

Construction fence

Existing / Proposed

1234 x 900.0'

1234 x 900.0'

Address

Spot elevation

Sanitary sewer manhole

Cleanout

Storm sewer manhole

Storm sewer intake

Storm sewer beehive

Flared end section

Water hydrant

Water valve

Water service shut-off

Water main manhole

Monitoring well

Yard hydrant

Well

Gas meter

Gas valve

Air conditioning unit

Electric manhole

Electric meter

Electric pedestal

Electric transformer

Utility hand hole

Utility pole

Utility pole with light

Light pole

Guy wire

Traffic signal

Traffic signal with light

Traffic manhole

Communication pedestal

Telephone booth

TV pedestal

Billboard sign

Street sign

Down spout

Tree shrub

Deciduous tree and trunk diameter

Coniferous tree and trunk diameter

SFHA Zone AE Floodway line

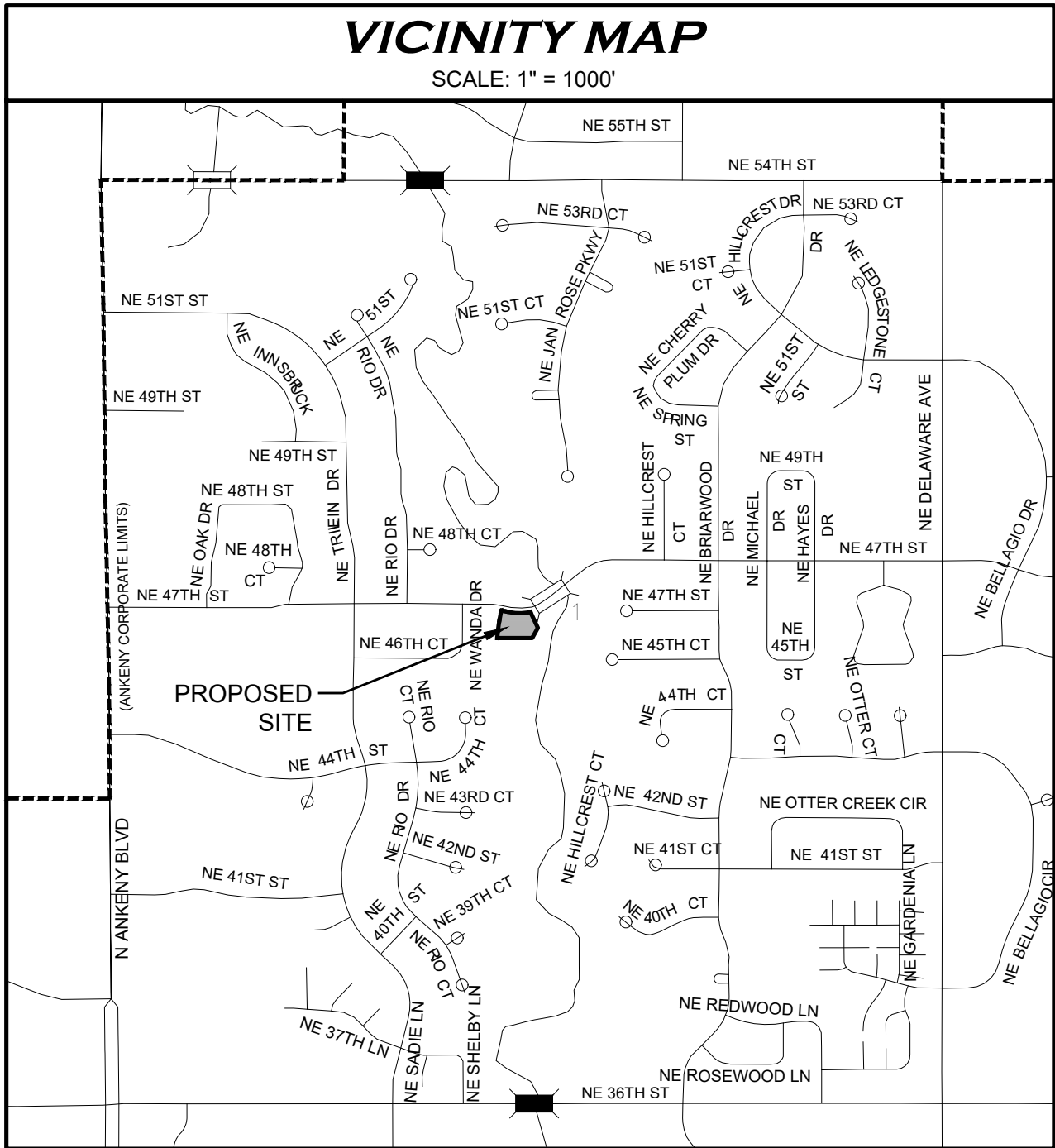
SFHA Zone AE line

Other Areas of Flood Hazard Zone X - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile



VICINITY MAP

SCALE: 1" = 1000'



LEGAL DESCRIPTION

OUTLOT 2, AVONDALE TRACE PLAT 2, AN OFFICIAL PLAT, LOCATED IN THE CITY OF ANKENY, POLK COUNTY, IOWA, CONTAINING 4.18 ACRES, MORE OR LESS

SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

BENCHMARK

1. TOP OF RIM OF THE SANITARY SEWER MANHOLE LOCATED ON THE SOUTH SIDE OF NE 47TH STREET AT THE NORTHWEST CORNER OF OUTLOT 2. ELEVATION = 920.97 FEET (NAVD88)

PROJECT SUMMARY

PROJECT DESCRIPTION:

PROJECT IMPROVEMENTS INCLUDE CONSTRUCTION OF PLAYGROUND WITH POURED-IN-PLACE RUBBER SURFACE, OPEN SHELTER, AND ASSOCIATED SIDEWALK. IMPROVEMENTS INCLUDE WATER UTILITY SERVICE TO DRINKING FOUNTAIN.

TOTAL SITE AREA: 182,072 SF (4.18 AC.)
PROPOSED USE: MINI PARK
BUILDING INFORMATION: OPEN SHELTER
PROPOSED SHELTER COVERAGE: 400 SF ROOF
PROPOSED SIDEWALKS AND PAVING: 4,770 SF
TOTAL IMPERVIOUS AREA: 4,770 SF
ERU's (4,770 / 4000 SF = 1.19): 2 ERU'S

OWNER/DEVELOPER

CITY OF ANKENY
PARKS AND RECREATION DEPARTMENT
1210 NW PRAIRIE RIDGE DRIVE
ANKENY, IOWA 50023
CONTACT: NICK LENOX
PHONE: (515) 963-3570

ENGINEER / LANDSCAPE ARCHITECT

NILLES ASSOCIATES, INC.
1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023
CONTACT: TARA BOUNDS
PHONE: (515) 350-8272

GENERAL NOTES

1. THE PROPERTY DESCRIBED IN THIS SURVEY LIES WITHIN AREAS OF ZONE "X", ZONE "AE" AND ZONE "AE" FLOODWAY AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NUMBER 195153C0065F, BEARING AN EFFECTIVE DATE OF FEBRUARY 1, 2019.
2. ZONING: AVONDALE TRACE PLANNED UNIT DEVELOPMENT

CONSTRUCTION SCHEDULE

GRADING & PAVING
PLAYGROUND EQUIPMENT INSTALLATION
LANDSCAPING & SEEDING

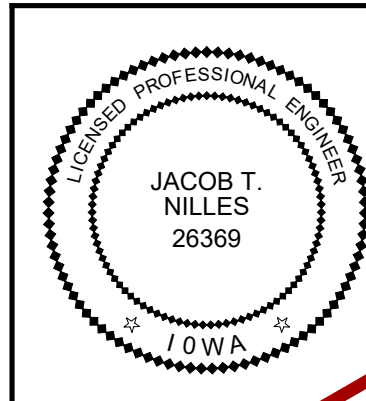
JULY - SEPTEMBER 2023
SEPTEMBER 2023
OCTOBER 2023

SPECIFICATION REFERENCE

ALL WORK SHALL COMPLY WITH THE 2023 EDITION OF THE IOWA SUDAS STANDARD SPECIFICATIONS, THE OCTOBER 2017 CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS, AND IDOT STANDARD SPECIFICATIONS WITH GS-15016 REVISIONS, UNLESS AMENDED OTHERWISE BY PROJECT SPECIFIC SPECIFICATIONS AND NOTES THAT ARE A PART OF THESE CONTRACT DOCUMENTS.

SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	C100	COVER SHEET
2	C101	REFERENCES AND QUANTITIES
3	C200	SITE OVERVIEW, REMOVAL, AND STAGING PLAN
4	C201	DIMENSION PLAN
5	C300	GRADING PLAN
6	C400	UTILITY PLAN
7	C500	LANDSCAPE PLAN



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: JACOB T. NILLES DATE: 6/30/2023
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS C200, C400



I HEREBY CERTIFY THAT THE PORTION OF THE TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: TARA M. BOUNDS DATE: 6/30/2023
PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS C100, C101, C200, C201, C300, C500

PRELIMINARY - SUBMITTAL #2

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

1) 4/7/23 REVISIONS PER CITY TECH REVIEW
2) 5/1/23 REVISIONS PER CITY TECH REVIEW
3) 5/1/23 REVISIONS PER CITY TECH REVIEW
4) 5/1/23 REVISIONS PER CITY TECH REVIEW
5) 5/1/23 REVISIONS PER CITY TECH REVIEW
6) 5/1/23 REVISIONS PER CITY TECH REVIEW
7) 5/1/23 REVISIONS PER CITY TECH REVIEW

CREEKSIDE PARK IMPROVEMENTS

575 NE 47TH STREET, ANKENY, IOWA

PROJECT NAME

NAI NO.: 23006
DATE: 4/7/23
DRAWN BY: TMB
CHECKED BY: JTN
SHEET SIZE: 22" X 34"
SHEET TITLE: C100
SHEET NO.: 1/7

GENERAL NOTES

GENERAL NOTE NO.1 AREAS ADJUTING THIS PROJECT - RESIDENTIAL HOME CONSTRUCTION SURROUNDING THE PROJECT MAY DEVELOP WITHIN THE SAME TIME FRAME AS THIS PROJECT. THE CONTRACTOR SHALL COORDINATE SAID DEVELOPMENTS AS NECESSARY. ADDITIONAL COMPENSATION OR CONTRACT TIME WILL NOT BE ALLOTTED FOR SAID COORDINATION OR IMPACTS TO EQUIPMENT, LABOR, MATERIALS, OR TIME.					
GENERAL NOTE NO.2 CONSTRUCTION STAKING TO BE PROVIDED BY NILLES ASSOCIATES AS PART OF THIS PROJECT. STAKING SHALL BE TO ESTABLISH BASELINES AND BENCHMARKS FOR LOCATING THE WORK WHICH IN THE ENGINEER'S JUDGEMENT ARE NECESSARY TO ENABLE THE CONTRACTOR TO PROCEED. RE-STAKING WILL BE AT THE CONTRACTOR'S EXPENSE.					
GENERAL NOTE NO.3 REPORT ANY ERRORS OR AMBIGUITIES IN CONTRACT DOCUMENTS TO ENGINEER AS SOON AS DETECTED. ENGINEER WILL ANSWER ALL QUESTIONS REGARDING PLANS AND SPECIFICATIONS AND INTERPRET INTENDED MEANING OF CONTRACT DOCUMENTS. ENGINEER'S INTERPRETATION TO BE ACCEPTED AS FINAL.					
GENERAL NOTE NO.4 DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS, OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF ANKENY AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.					
GENERAL NOTE NO.5 PROTECT ALL EXISTING STRUCTURES, EQUIPMENT, PILING, SABS AND UTILITIES DURING ALL CONSTRUCTION OPERATIONS UNLESS NOTED OTHERWISE. PROTECTION IS INCIDENTAL TO THE PROJECT. DAMAGE FROM CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT. IF SUCH DAMAGE OCCURS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.					
GENERAL NOTE NO.6 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THEIR WORK WITH ALL UTILITY COMPANIES SO THAT THEY ARE AWARE OF THEIR SCHEDULES AND CAN LOCATE, PROTECT, OR REMOVE ANY OF THEIR FACILITIES AS NECESSARY.					
GENERAL NOTE NO.7 CONTRACTOR SHALL COMPLETELY REMOVE ALL DEBRIS FROM THE WORK SITE. PRIOR TO SUBSTANTIAL COMPLETION OF PROJECT, REPRESENTATIVES OF THE CITY OF ANKENY AND NILLES ASSOCIATES SHALL CONDUCT A THOROUGH INSPECTION. ANY ACTIVITIES REQUIRED BY THE CONTRACTOR TO COMPLETE ADDITIONAL CLEANUP SHALL BE AT THE CONTRACTOR'S EXPENSE, WITH NO EXTENSION OF THE CONTRACT TIME.					
GENERAL NOTE NO.8 PROTECT EXISTING DRAINAGE TILE LINES ENCOUNTERED DURING CONSTRUCTION. NOTIFY ENGINEER AND CITY WHEN SUCH LINES ARE ENCOUNTERED. MAKE REPAIRS TO LINES DAMAGED BY CONSTRUCTION BY THE CITY'S DIRECTOR OF ENGINEERING. ANY TILE LINES ENCOUNTERED ABOVE THE ELEVATION OF THE PROPOSED STORM SEWER SYSTEM SHALL BE CONNECTED TO THE SYSTEM AT THE NEAREST POINT OF INTERSECTION. DOCUMENT LOCATION OF SAID LINES AND REPAIRS NECESSARY FOR INCLUSION IN FINAL PROJECT RECORD DOCUMENTS.					
GENERAL NOTE NO.9 THE CONTRACTOR SHALL BE BOUND BY CONTRACTUAL MILESTONES AND DEADLINES AS SET FORTH IN THE NOTICE TO BIDDERS AND NOTICE OF PUBLIC HEARING.					
GENERAL NOTE NO.10 EXCEPT AS NOTED, FOR EACH BID ITEM, REFER TO THE LISTED SECTION WITHIN THE 2023 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SPECIFICATIONS MANUAL) FOR PAYMENT AND MEASUREMENT INFORMATION. (i.e. PAYMENT AND MEASUREMENT FOR REFERENCE NUMBER 9040-108-0-1 WOULD BE FOUND IN SUDAS SPECIFICATION SECTION 108-0-1) REFER TO THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR ANY LOCAL AMENDMENTS TO SUDAS WHICH SHOULD BE APPLIED TO THIS PROJECT.					
GENERAL NOTE NO.11 FOR BID ITEMS NOTED WITH AN ASTERISK (*), REFER TO THE LISTED SECTION WITHIN THE IDOT STANDARD SPECIFICATIONS WITH GS-15015 REVISIONS FOR PAYMENT AND MEASUREMENT INFORMATION.					
GENERAL NOTE NO.12 ANY WORK, MATERIALS, EQUIPMENT OR LABOR REQUIRED TO COMPLETE THE WORK DESCRIBED WITHIN THIS CONTRACT, WHICH IS NOT DIRECTLY IDENTIFIED WITHIN A CONTRACT BID ITEM (EITHER AS PART OF THE ORIGINAL BID DOCUMENTS, ADDENDA OR CHANGE ORDER AUTHORIZED BY ENGINEER) SHALL BE CONSIDERED INCIDENTAL TO THE WORK, AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR WITHIN OTHER PROJECT COSTS.					
GENERAL NOTE NO.13 ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT, AND ACTIONS.					
GENERAL NOTE NO.14 CONTRACTOR SHALL PROTECT EXISTING SIGNS AND STREETLIGHTS, AND IS RESPONSIBLE FOR ANY REPAIRS AND/OR REPLACEMENTS PER CITY STANDARDS.					
BID ITEM DESCRIPTIONS					
ITEM NO.	REFERENCE	BID ITEMS AND DESCRIPTIONS:			
SECTION 2010 - EARTHWORK, SUBGRADE, AND SUBBASE					
2.01	2010-108-D-1	TOPSOIL, ON-SITE, 4" DEPTH WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 2010. TOPSOIL TO BE PLACED OVER ALL DISTURBED AREAS WHICH ARE NOT COVERED BY HARD SURFACINGS. DEPTH OF STRIP IS ESTIMATED TO BE 4-INCHES. PROPOSED DEPTH OF PLACEMENT IS 4-6 INCHES IN ALL AREAS.			
2.02	2010-108-E-0	EXCAVATION, CLASS 10 WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 2010. COMPACT COHESIVE SOILS TO NO LESS THAN 95% MAXIMUM STANDARD PROCTOR DENSITY IN AREAS UNDER PAVING AND SIDEWALK. OPEN SPACE AREAS SHALL NOT EXCEED 85% MAXIMUM STANDARD PROCTOR DENSITY.			
SECTION 5020 - VALVES, FIRE HYDRANTS, AND APPURTENANCES					
DRINKING FOUNTAIN CONNECTION, INSTALLATION & SUMP PIT WORK AND MATERIALS SHALL INCLUDE ALL MATERIALS, FITTINGS AND FASTENERS NECESSARY TO MOUNT CITY PROVIDED DRINKING FOUNTAIN PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.					
5.01	SPECIAL	INSTALL SUMP PIT DIRECTLY UNDER DRINKING FOUNTAIN TO RECEIVE DRAIN LINE AND WATER SERVICE LINE AS SHOWN IN DETAIL AND ON PLANS. INSTALL IRRIGATION PIT WITH 1" ISOLATION VALVE AND BLOWOFF AS SHOWN ON PLAN. COORDINATE WITH OWNER REGARDING CLOSE-OUT CONNECTION REQUIREMENTS FOR BLOWOFF. ALL WORK AND MATERIALS TO CONFORM TO SUDAS 5020. WORK AND MATERIALS SHALL INCLUDE DOMESTIC WATER SERVICE AND CONNECTION TO EXISTING WATER SHUTOFF. INSTALL AS PER SUDAS 5010 AND CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS.			
SECTION 7030 - SIDEWALKS, SHARED USE PATHS, AND DRIVEWAYS					
7.01	7030-108-A-0	REMOVAL OF SIDEWALK WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 7030.			
7.02	7030-108-E-0	SIDEWALK, PCC, 4-INCH, NON-REINFORCED WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 7030 AND CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS. UNIT PRICE INCLUDES, BUT IS NOT LIMITED TO, MINOR GRADE ADJUSTMENTS AT DRIVEWAYS AND OTHER INTERSECTIONS, SUBGRADE PREPARATION, FORMWORK, ADDITIONAL THICKNESS AT THICKENED EDGES, JOINTING, SAMPLING, SLOPE AND SMOOTHNESS TESTING AND CORRECTION, AND TESTING.			
7.03	7030-108-E-0	SIDEWALK PAD, PCC, 4-INCH, REINFORCED WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 7030 AND CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS. UNIT PRICE INCLUDES, BUT IS NOT LIMITED TO, MINOR GRADE ADJUSTMENTS AT DRIVEWAYS AND OTHER INTERSECTIONS, SUBGRADE PREPARATION, FORMWORK, ADDITIONAL THICKNESS AT THICKENED EDGES, JOINTING, SAMPLING, SLOPE AND SMOOTHNESS TESTING AND CORRECTION, AND TESTING, REFER TO DETAILS FOR SPACING AND REINFORCEMENTS.			
7.04	7030-108-F-0	SIDEWALK ASSURANCE TESTING CONDUCT SAMPLING, TESTING, AND FURNISH REPORTS AS PER SUDAS SECTION 7030.			
7.05	SPECIAL	POURED-IN-PLACE RUBBER SURFACING WORK AND MATERIALS SHALL MEET OR EXCEED ASTM 1292 STANDARDS. ITEM INCLUDES POURED IN PLACE RUBBER SURFACING BY GT-IMPAX OR EQUAL. SURFACING SHALL BE 4" DEPTH FOR 9" MAXIMUM FALL HEIGHT, 50/50 MIXTURE OF BLACK COLOR AND SECOND COLOR AS SELECTED BY OWNER.			
7.06	SPECIAL	PLAYGROUND EQUIPMENT AND FOOTINGS ITEM INCLUDES PROVIDING AND DELIVERING ALL PLAYGROUND EQUIPMENT. ITEM ALSO INCLUDES PROVIDING ALL LABOR, EQUIPMENT AND INCIDENTAL MATERIALS TO INSTALL PER MANUFACTURER'S SPECIFICATIONS, THE PLAYGROUND EQUIPMENT. INSTALLER IS TO PROVIDE CONCRETE NECESSARY FOR INSTALLATION OF PLAYGROUND. INSTALLER WILL REMOVE ALL REFUSE FROM PROJECT SITE UPON COMPLETION. THE INSTALLER WILL NEED TO COORDINATE THE PLAYGROUND EQUIPMENT'S INSTALLATION WITH OWNER AND WILL BE GIVEN SIXTY (60) CALENDAR DAYS TO COMPLETE THE WORK AFTER THE NOTICE TO PROCEED IS ISSUED. SPECIAL NOTE - THERE IS NO ELECTRICITY AT THE SITE. INSTALLER WILL BE RESPONSIBLE TO PROVIDE GENERATOR POWER IF NECESSARY FOR TOOLS AND EQUIPMENT.			
SECTION 8030 - TEMPORARY TRAFFIC CONTROL					
8.01	8030-108-A-0	TRAFFIC CONTROL PAYMENT, MEASUREMENT, WORK AND MATERIALS SHALL COMPLY WITH IOWA DOT STANDARD ROAD PLANS, IOWA DOT STANDARD SPECIFICATIONS (WITH GS-15015 REVISIONS) AND THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).			
SECTION 9010 - SEEDING					
9.01	9010-108-A	CONVENTIONAL SEEDING, TYPE 1 (PERMANENT LAWN MIX			

SPECIAL	NOTE	DEWATERING ALL TRENCH DEWATERING DISCHARGES SHALL BE DIRECTED TO A COLLECTION AREA IN A NON-EROSIVE MANNER. DEWATERING ACTIVITIES ARE NOT PERMITTED TO BE DIRECTLY RELEASED OFF-SITE OR TO CITY STORM SEWERS WITHOUT EFFECTIVE PRE-TREATMENT.
9.03	9040-108-E-1	TEMPORARY RECP. TYPE 2.0 (SHORT-TERM) WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040. QUANTITY TO BE PAID SHALL BE BASED ON SURFACE AREA TO BE PROTECTED (MATERIAL TO BE TRENCHED IN, OVERLAPPED, CUT OR OTHERWISE WASTED WILL NOT BE CALCULATED AS A PAID QUANTITY.)
9.04	9040-108-F-1	WATTLES, STRAW, 9-INCH DIA. WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040 AS AMENDED BY CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS. NO PAYMENT SHALL BE MADE FOR IMPROPER INSTALLATIONS (i.e. WITHOUT "J-HOOKS" OR INSTALLED IN UNINTERRUPTED LENGTHS LONGER THAN 200 FEET).
9.05	9040-108-F-2	WATTLES, REMOVAL WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040.
9.06	9040-108-N-1	SILT FENCE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040. NO PAYMENT SHALL BE MADE FOR IMPROPER INSTALLATIONS (i.e. WITHOUT "J-HOOKS" OR INSTALLED IN UNINTERRUPTED LENGTHS LONGER THAN 200 FEET).
9.07	9040-108-N-3	SILT FENCE, REMOVAL WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040.
9.08	9040-108-O-1	STABILIZED CONSTRUCTION ENTRANCE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040. ENTRANCE SHALL BE 15 FEET X 50 FEET AND 12" DEPTH. INSTALL ASPHALT FILLET AT THE CURB.
9.09	9040-108-Q-2	EROSION CONTROL, HYDRAULIC MULCHING, BONDED FIBER MATRIX (BFM) WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040. BONDED FIBER MATRIX RATE SHALL BE 3,000 LBS. PER ACRE. ITEM DOES NOT INCLUDE SEEDING AND FERTILIZING.
9.10	9040-108-T-1	INLET PROTECTION DEVICE, DROP-IN WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040.
9.11	9040-108-T-2	INLET PROTECTION DEVICE, MAINTENANCE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 9040. QUANTITY INCLUDES THREE (3) CLEANINGS PER DEVICE.
SECTION 11020 - MOBILIZATION		
11.01	11020-108-A	MOBILIZATION MOBILIZATION WILL BE MEASURED AND PAID AS PER SUDAS SECTION 11020.
SECTION 11050 - CONCRETE WASHOUT		
11.02	11050-108-A	CONCRETE WASHOUT WORK AND MATERIAL SHALL CONFORM TO SUDAS 11050.
ADD ALTERNATE ITEMS		
12.01	7030-108-E-0	SHELTER PAD, PCC, 5-INCH, REINFORCED WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 7030 AND CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS. UNIT PRICE INCLUDES, BUT IS NOT LIMITED TO, SUBGRADE PREPARATION, FORMWORK, ADDITIONAL THICKNESS AT THICKENED EDGES, JOINTING, SAMPLING, SLOPE AND SMOOTHNESS TESTING AND CORRECTION, AND TESTING.
12.02	SPECIAL	SHELTER AND FOOTINGS ITEM SHALL INCLUDE ALL WORK, MATERIALS, LABOR, AND FREIGHT TO FURNISH AND INSTALL SHELTER AND FOOTINGS.

BID ITEMS AND QUANTITIES	
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ITEM	DESCRIPTION	UNIT	QUANTITY
	DIVISION 2: EARTHWORK		
2.01	Topsoil, On-Site, 4" Depth	CY	277
2.02	Excavation, Class 10	CY	97
	DIVISION 4: SEWERS AND DRAINS (NOT USED)		
	DIVISION 5: WATER MAINS AND APPURTENANCES		
5.01	Drinking Fountain Connection, Installation & Sump Pit	LS	1
	DIVISION 6: STRUCTURES FOR SANITARY AND STORM SEWERS (NOT USED)		
	DIVISION 7: CONCRETE AND RELATED WORK		
7.01	Removal of Sidewalk	SY	12
7.02	Sidewalk, PCC, 4-Inch, Non-Reinforced	SY	150
7.03	Playground Pad, PCC, 4-Inch, Reinforced	SY	380
7.04	Sidewalk Assurance Testing	LS	1
7.05	Poured-in-Place Rubber Surfacing	SF	3,185
7.06	Playground Equipment and Footings	LS	1
	DIVISION 8: TRAFFIC CONTROL		
8.01	Traffic Control	LS	1
	DIVISION 9: SITE WORK AND LANDSCAPING		
9.01	Conventional Seeding, Type 1 (Permanent Lawn Mixture)	AC	0.5
9.02	Trees, Deciduous, 2" Caliper	EA	5.0
9.03	Temporary RECP, Type 2.D (Short-term)	SY	125.0
9.04	Wattles, 9-Inch Dia.	LF	260.0
9.05	Wattles, 9-Inch Dia., Removal	LF	260.0
9.06	Silt Fence	LF	383.0
9.07	Silt Fence, Removal	LF	383.0
9.08	Stabilized Construction Entrance	SY	85.0
9.09	Erosion Control Hydraulic Mulching, Bonded Fiber Matrix (BFM)	AC	0.5
9.10	Inlet Protection Device, Drop-In	EA	2.0
9.11	Inlet Protection Device, Maintenance	EA	3.0
	DIVISION 10: DEMOLITION (NOT USED)		
	DIVISION 11: MISCELLANEOUS		
11.01	Mobilization	LS	1
11.02	Concrete Washout	LS	1
	ADD-ALTERNATE ITEMS		
12.01	Shelter Pad, PCC, 5-Inch, Reinforced	SY	72
12.02	Shelter and Footings	LS	1

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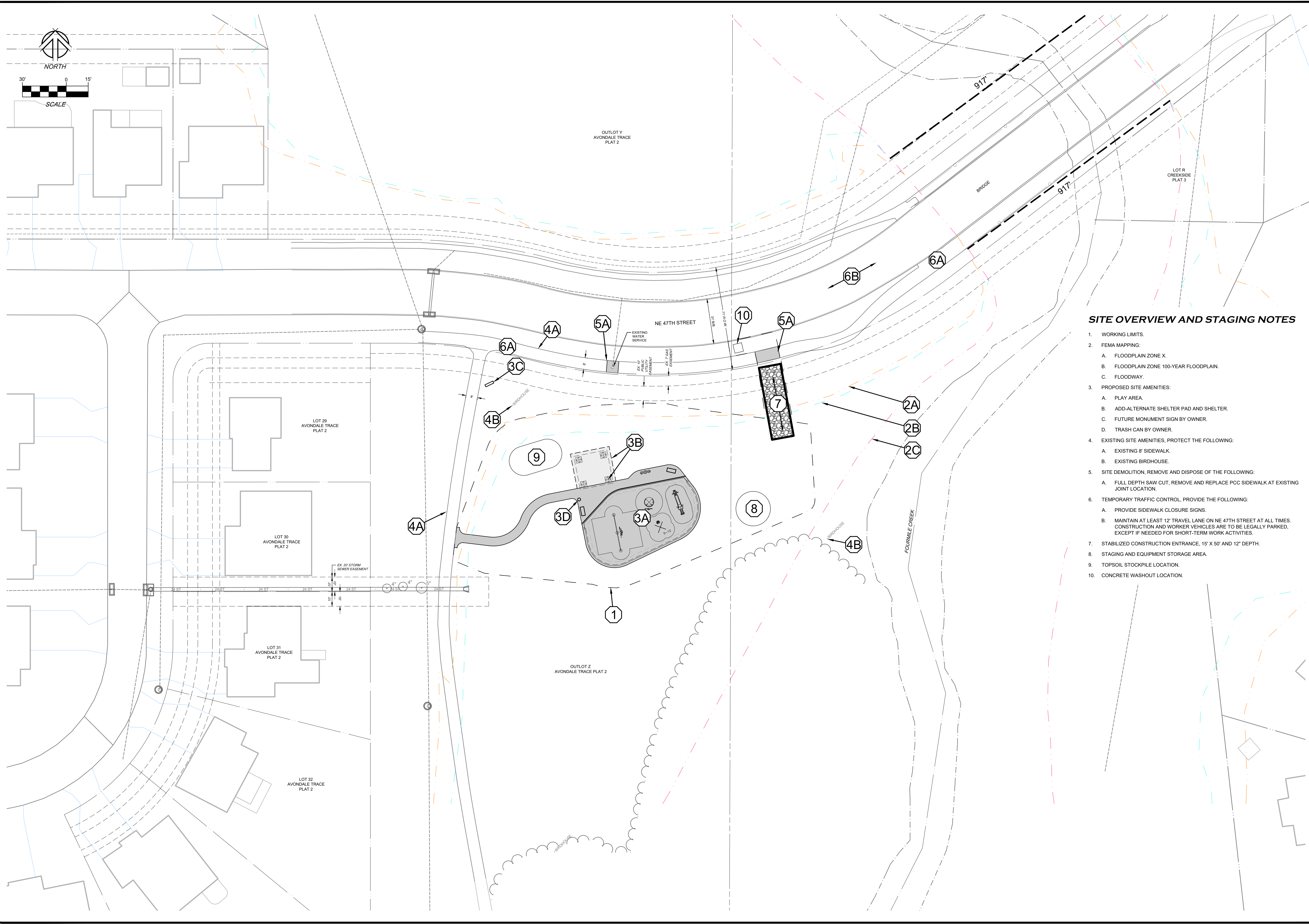
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1100760110982

DE DAVIK IMDDO/EMAF

REFERENCES AND QUANTITIES

NAI NO.:	23006
DATE:	4/7/23
DRAWN BY:	TMB
CHECKED BY:	JTN
SHEET SIZE:	22" X 34"
SHEET TITLE:	C101
SHEET NO.:	2/7



SITE OVERVIEW AND STAGING NOTES

- WORKING LIMITS.
- FEMA MAPPING:
 - FLOODPLAIN ZONE X.
 - FLOODPLAIN ZONE 100-YEAR FLOODPLAIN.
 - FLOODWAY.
- PROPOSED SITE AMENITIES:
 - PLAY AREA.
 - ADD-ALTERNATE SHELTER PAD AND SHELTER.
 - FUTURE MONUMENT SIGN BY OWNER.
 - TRASH CAN BY OWNER.
- EXISTING SITE AMENITIES, PROTECT THE FOLLOWING:
 - EXISTING 8' SIDEWALK.
 - EXISTING BIRDHOUSE.
- SITE DEMOLITION, REMOVE AND DISPOSE OF THE FOLLOWING:
 - FULL DEPTH SAW CUT, REMOVE AND REPLACE PCC SIDEWALK AT EXISTING JOINT LOCATION.
- TEMPORARY TRAFFIC CONTROL, PROVIDE THE FOLLOWING:
 - PROVIDE SIDEWALK CLOSURE SIGNS.
 - MAINTAIN AT LEAST 12' TRAVEL LANE ON NE 47TH STREET AT ALL TIMES. CONSTRUCTION AND WORKER VEHICLES ARE TO BE LEGALLY PARKED, EXCEPT IF NEEDED FOR SHORT-TERM WORK ACTIVITIES.
- STABILIZED CONSTRUCTION ENTRANCE, 15' X 50' AND 12" DEPTH.
- STAGING AND EQUIPMENT STORAGE AREA.
- TOPSOIL STOCKPILE LOCATION.
- CONCRETE WASHOUT LOCATION.

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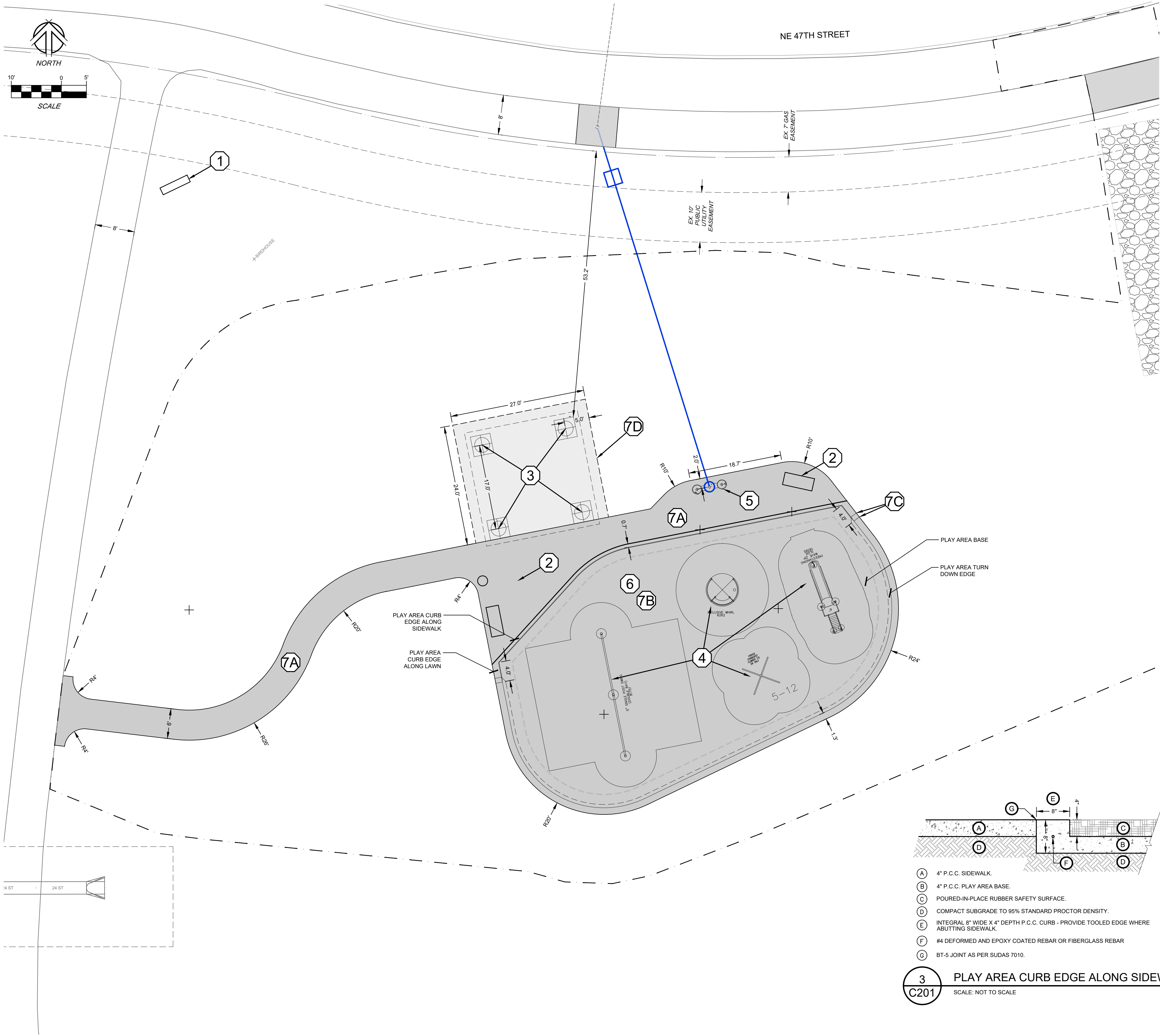
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PROJECT NAME: CREEKSIDE PARK IMPROVEMENTS
575 NE 47TH STREET, ANKENY, IOWA

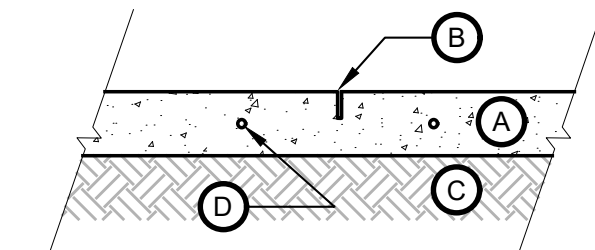
DESCRIPTION: SITE OVERVIEW, REMOVAL, AND STAGING PLAN

NAI NO.:	23006
DATE:	4/7/23
DRAWN BY:	TMB
CHECKED BY:	JTN
SHEET SIZE:	22" X 34"
SHEET TITLE:	C200
SHEET NO.:	3/7



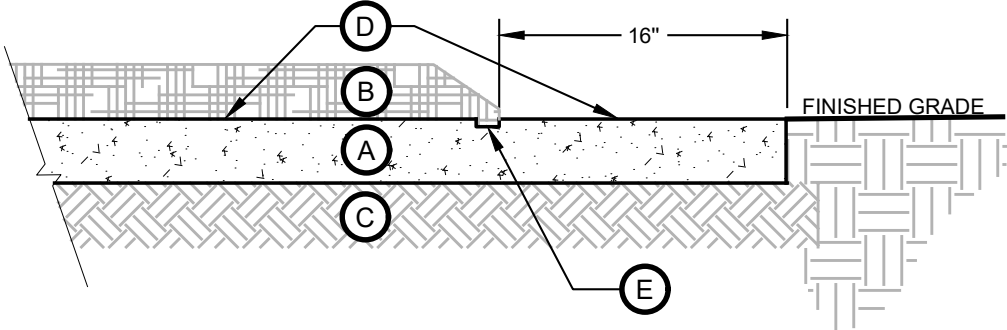
DIMENSION PLAN NOTES

- FUTURE MONUMENT SIGN BY OWNER.
- FUTURE BENCH BY OWNER.
- ADD-ALTERNATE 20' X 20' SHELTER AND FOOTINGS. PRE ENGINEERED 20' X 20' FOUR SIDED HIP ROOF, SINGLE TIER WITH MULTI RIB PANELS; 24-GAUGE STEEL; 4:12 ROOF SLOPE. ANCHOR BOLTS AND TEMPLATES INCLUDED. THE SUPPORT COLUMNS SHALL BE STEEL AND A MINIMUM SIZE OF 6" X 6", 8' ENTRY HEIGHT. POWDER-COATED FRAME FINISH. INCLUDES ENGINEERED SEAL DRAWINGS. THE COLOR SCHEME WILL BE SELECTED BY OWNER FROM THE MANUFACTURER'S STANDARD COLOR PALETTE. VENDOR TO SUPPLY COLORS UPON ACCEPTANCE OF PROPOSAL. APPROVED MANUFACTURERS: ICON SHELTER SYSTEMS WWW.ICONSHELTERS.COM; POLIGON WWW.POLIGON.COM; OR APPROVED EQUAL.
- PROPOSED PLAYGROUND EQUIPMENT AND FOOTINGS. INCLUDES ENGINEERED SEALED DRAWINGS. THE COLOR SCHEME WILL BE SELECTED BY OWNER FROM THE MANUFACTURER'S STANDARD COLOR PALETTE. VENDOR TO SUPPLY COLORS UPON ACCEPTANCE OF PROPOSAL. STARBURST CLIMBER, QUAD MODEL BY LANDSCAPE STRUCTURES, OR EQUAL; INCLUSIVE WHIRL BY GAME TIME, OR EQUAL; GAME TIME 9' WAVE ZIP SLIDE, OR EQUAL; AND SINGLE BAY SWING, TWO BAY BY GAME TIME WITH 2 BELT SEATS AND 2 ENCLOSED SEATS, OR EQUAL. ALL VERTICAL POST AND MEMBERS IN THE PLAYGROUND EQUIPMENT SHALL BE A MINIMUM DIAMETER OF 5".
- DRINKING FOUNTAIN. REFER TO UTILITY SHEET.
- POURED-IN-PLACE RUBBER SURFACE. REFER TO REFERENCES AND SITE DETAILS.
- PAVEMENTS, PROVIDE THE FOLLOWING:
 - 4" P.C.C. SIDEWALK.
 - 4" REINFORCED P.C.C. PLAYGROUND PAD WITH 81-FOOT LENGTH INTEGRAL CURB AND 130-FOOT LENGTH KEYWAY PER DETAILS.
 - TAPER CURB TO FINISH GRADE OF P.C.C. PLAYGROUND PAD.
 - ADD ALTERNATE 5" REINFORCED P.C.C. SHELTER PAD WITH 3'X3' BOX-OUTS FOR FOOTINGS. PROVIDE A THICKENED EDGE AROUND OUTSIDE OF SLAB AND #4 DEFORMED AND EPOXY-COATED REBAR OR FIBERGLASS REBAR, SPACED 36" O/C, EACH WAY.



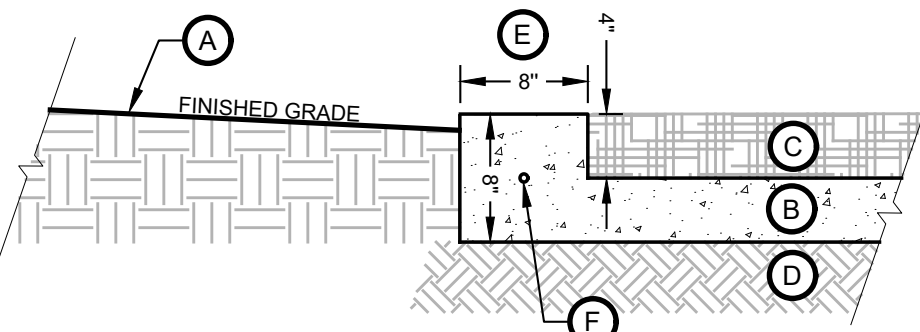
- (A) 4" P.C.C. PLAY AREA BASE.
(B) 1/4" WIDE SAWED CONTROL JOINT - 1/3 OF SPECIFIED DEPTH - 10' O.C. +/-.
(C) COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY.
(D) #4 DEFORMED AND EPOXY COATED REBAR OR FIBERGLASS REBAR. SPACE 36" O/C, EACH WAY.

1 PLAY AREA BASE
SCALE: NOT TO SCALE



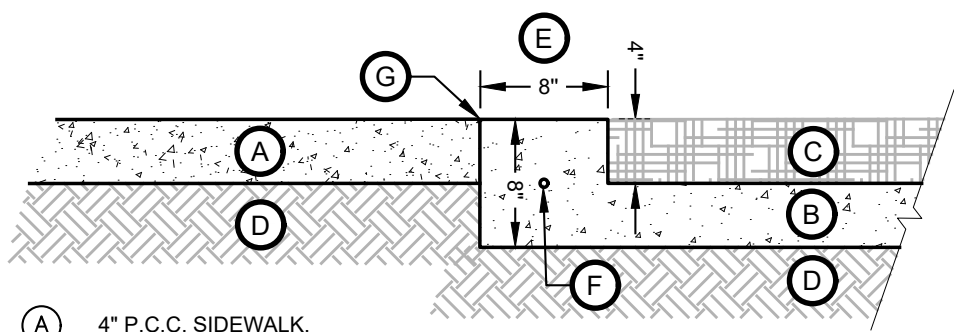
- (A) 4" P.C.C. PLAY AREA BASE.
(B) POURED-IN-PLACE RUBBER SAFETY SURFACE.
(C) COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY.
(D) SPOT ELEVATIONS SHOWN ON PLAN ARE TOP OF CONCRETE SLAB. ELEVATION OF TOP OF POURED RUBBER SURFACE AND PLAY EQUIPMENT FOOTINGS TO BE DETERMINED BY PLAYGROUND EQUIPMENT MANUFACTURER AND INSTALLER.
(E) PROVIDE 3/4" DEEP X 1.5" WIDE KEYWAY TO RECEIVE BOTTOM EDGE OF POURED RUBBER SURFACE AT TAPERED EDGE ONLY.

2 PLAY AREA TURN DOWN EDGE
SCALE: NOT TO SCALE



- (A) LAWN.
(B) 4" P.C.C. PLAY AREA BASE.
(C) POURED-IN-PLACE RUBBER SAFETY SURFACE.
(D) COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY.
(E) INTEGRAL 8" WIDE X 4" DEPTH P.C.C. CURB - PROVIDE TOOLED EDGE WHERE ABUTTING SIDEWALK.
(F) #4 DEFORMED AND EPOXY COATED REBAR OR FIBERGLASS REBAR.

4 PLAY AREA CURB EDGE ALONG LAWN
SCALE: NOT TO SCALE



- (A) 4" P.C.C. SIDEWALK.
(B) 4" P.C.C. PLAY AREA BASE.
(C) POURED-IN-PLACE RUBBER SAFETY SURFACE.
(D) COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY.
(E) INTEGRAL 8" WIDE X 4" DEPTH P.C.C. CURB - PROVIDE TOOLED EDGE WHERE ABUTTING SIDEWALK.
(F) #4 DEFORMED AND EPOXY COATED REBAR OR FIBERGLASS REBAR.
(G) BT-5 JOINT AS PER SUDAS 7010.

3 PLAY AREA CURB EDGE ALONG SIDEWALK
SCALE: NOT TO SCALE

PRELIMINARY - SUBMITTAL #2

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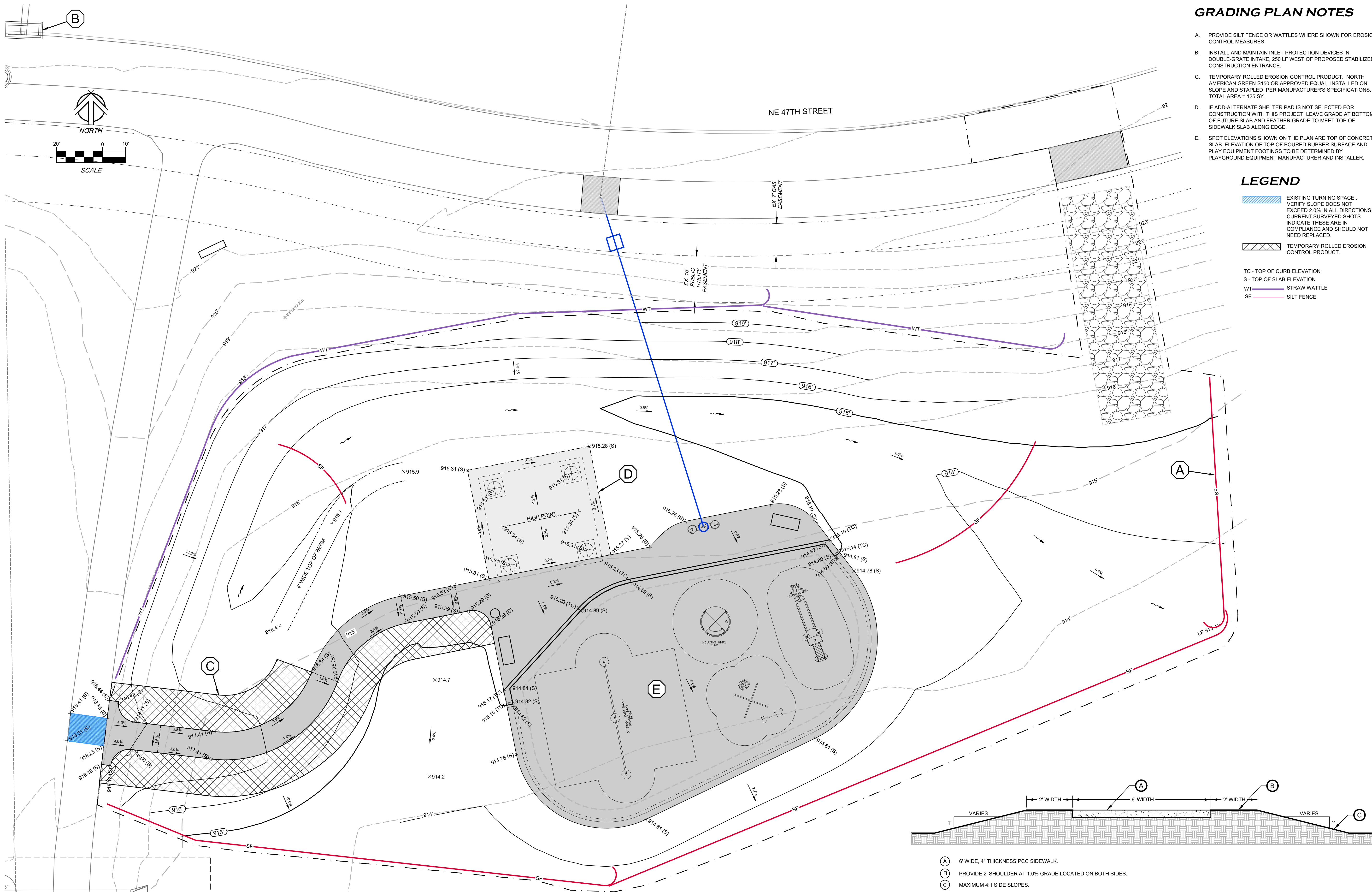
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CREEKSIDE PARK IMPROVEMENTS
575 NE 47TH STREET, ANKENY, IOWA

PROJECT NAME

DIMENSION PLAN

NAI NO.	23006
DATE:	4/7/23
DRAWN BY:	TMB
CHECKED BY:	JTN
SHEET SIZE:	22" X 34"
SHEET TITLE:	C201
SHEET NO.:	4/7



GRADING PLAN NOTES

- A. PROVIDE SILT FENCE OR WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES.
- B. INSTALL AND MAINTAIN INLET PROTECTION DEVICES IN DOUBLE-GRATE INTAKE, 250 LF WEST OF PROPOSED STABILIZED CONSTRUCTION ENTRANCE.
- C. TEMPORARY ROLLED EROSION CONTROL PRODUCT, NORTH AMERICAN GREEN S150 OR APPROVED EQUAL, INSTALLED ON SLOPE AND STAPLED PER MANUFACTURER'S SPECIFICATIONS. TOTAL AREA = 125 SY.
- D. IF ADD-ALTERNATE SHELTER PAD IS NOT SELECTED FOR CONSTRUCTION WITH THIS PROJECT, LEAVE GRADE AT BOTTOM OF FUTURE SLAB AND FEATHER GRADE TO MEET TOP OF SIDEWALK SLAB ALONG EDGE.
- E. SPOT ELEVATIONS SHOWN ON THE PLAN ARE TOP OF CONCRETE SLAB. ELEVATION OF TOP OF POURED RUBBER SURFACE AND PLAY EQUIPMENT FOOTINGS TO BE DETERMINED BY PLAYGROUND EQUIPMENT MANUFACTURER AND INSTALLER.

LEGEND

- EXISTING TURNING SPACE. VERIFY SLOPE DOES NOT EXCEED 2.0% IN ALL DIRECTIONS. CURRENT SURVEYED SHOTS INDICATE THESE ARE IN COMPLIANCE AND SHOULD NOT NEED REPLACED.
- TEMPORARY ROLLED EROSION CONTROL PRODUCT.
- TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
WT - STRAW WATTLE
SF - SILT FENCE

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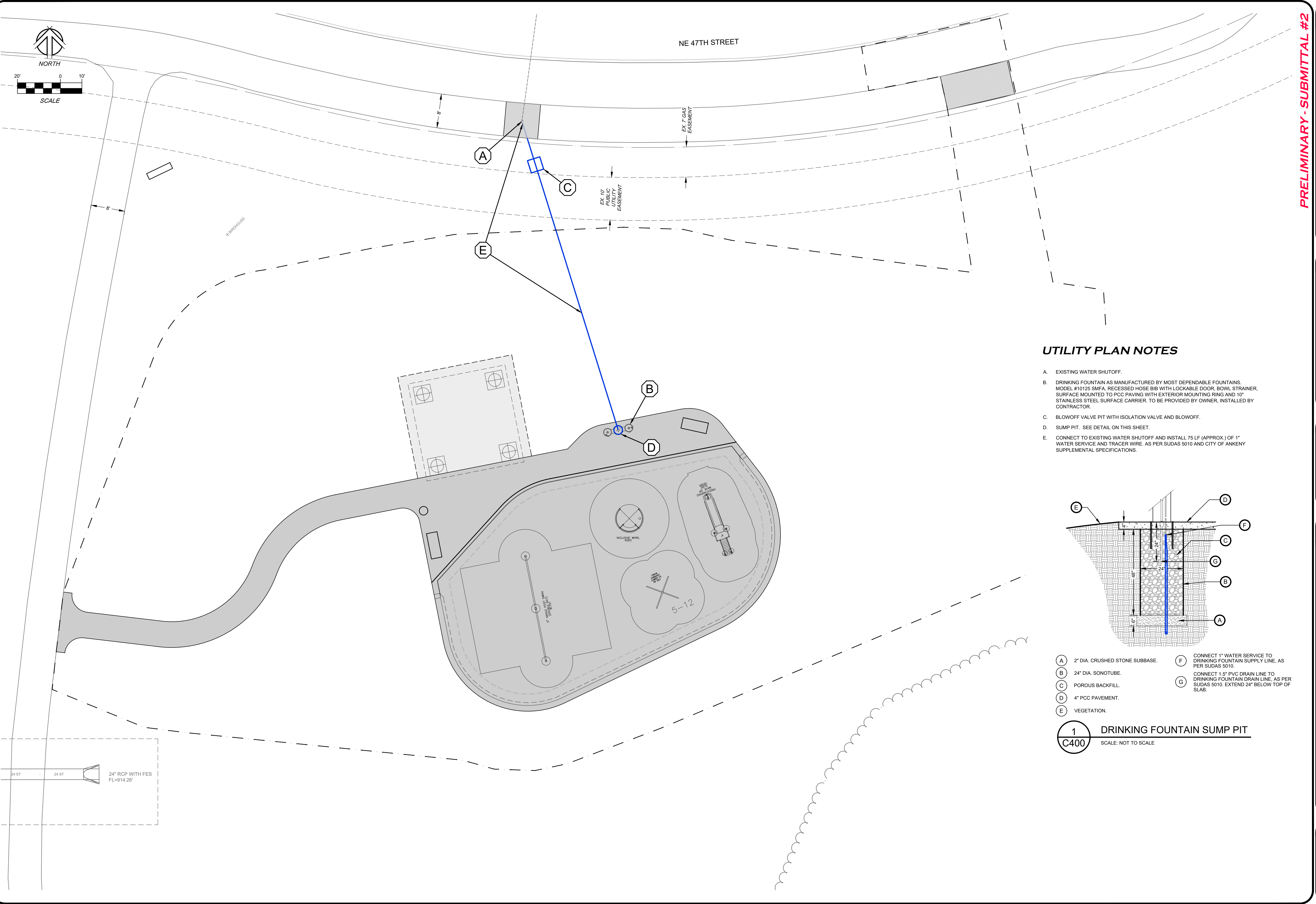
CREEKSIDE PARK IMPROVEMENTS
575 NE 47TH STREET, ANKENY, IOWA

GRADING PLAN

PROJECT NAME	
DATE	4/7/23
DRAWN BY	TMB
CHECKED BY	JTN
SHEET SIZE	22" X 34"
SHEET TITLE	C300
SHEET NO.	5/7

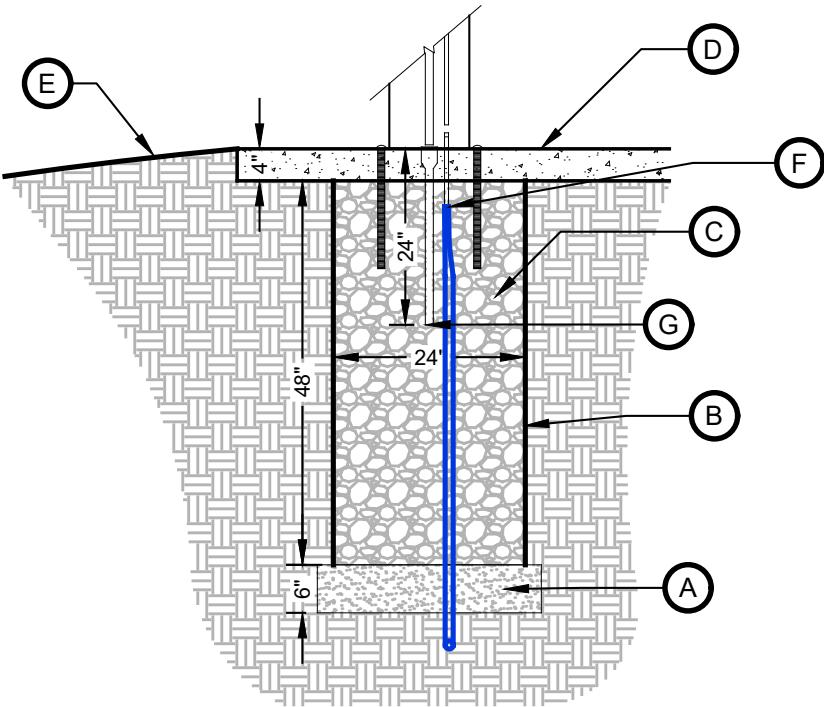
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C300

TYPICAL SIDEWALK SIDE SLOPES
SCALE: NOT TO SCALE



UTILITY PLAN NOTES

- A. EXISTING WATER SHUTOFF.
- B. DRINKING FOUNTAIN AS MANUFACTURED BY MOST DEPENDABLE FOUNTAINS. MODEL #10125 SMFA, RECESSED HOSE BIB WITH LOCKABLE DOOR, BOWL STRAINER, SURFACE MOUNTED TO PCC PAVING WITH EXTERIOR MOUNTING RING AND 10" STAINLESS STEEL SURFACE CARRIER. TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- C. BLOWOFF VALVE PIT WITH ISOLATION VALVE AND BLOWOFF.
- D. SUMP PIT. SEE DETAIL ON THIS SHEET.
- E. CONNECT TO EXISTING WATER SHUTOFF AND INSTALL 75 LF (APPROX.) OF 1" WATER SERVICE AND TRACER WIRE. AS PER SUDAS 5010 AND CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS.



- A. 2" DIA. CRUSHED STONE SUBBASE.
- B. 24" DIA. SONOTUBE.
- C. POROUS BACKFILL.
- D. 4" PCC PAVEMENT.
- E. VEGETATION.
- F. CONNECT 1" WATER SERVICE TO DRINKING FOUNTAIN SUPPLY LINE, AS PER SUDAS 5010.
- G. CONNECT 1.5" PVC DRAIN LINE TO DRINKING FOUNTAIN DRAIN LINE, AS PER SUDAS 5010. EXTEND 24" BELOW TOP OF SLAB.

1 DRINKING FOUNTAIN SUMP PIT
C400 SCALE: NOT TO SCALE

PRELIMINARY - SUBMITTAL #2

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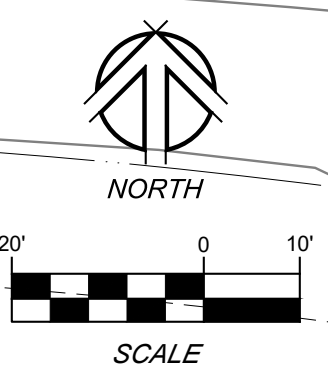
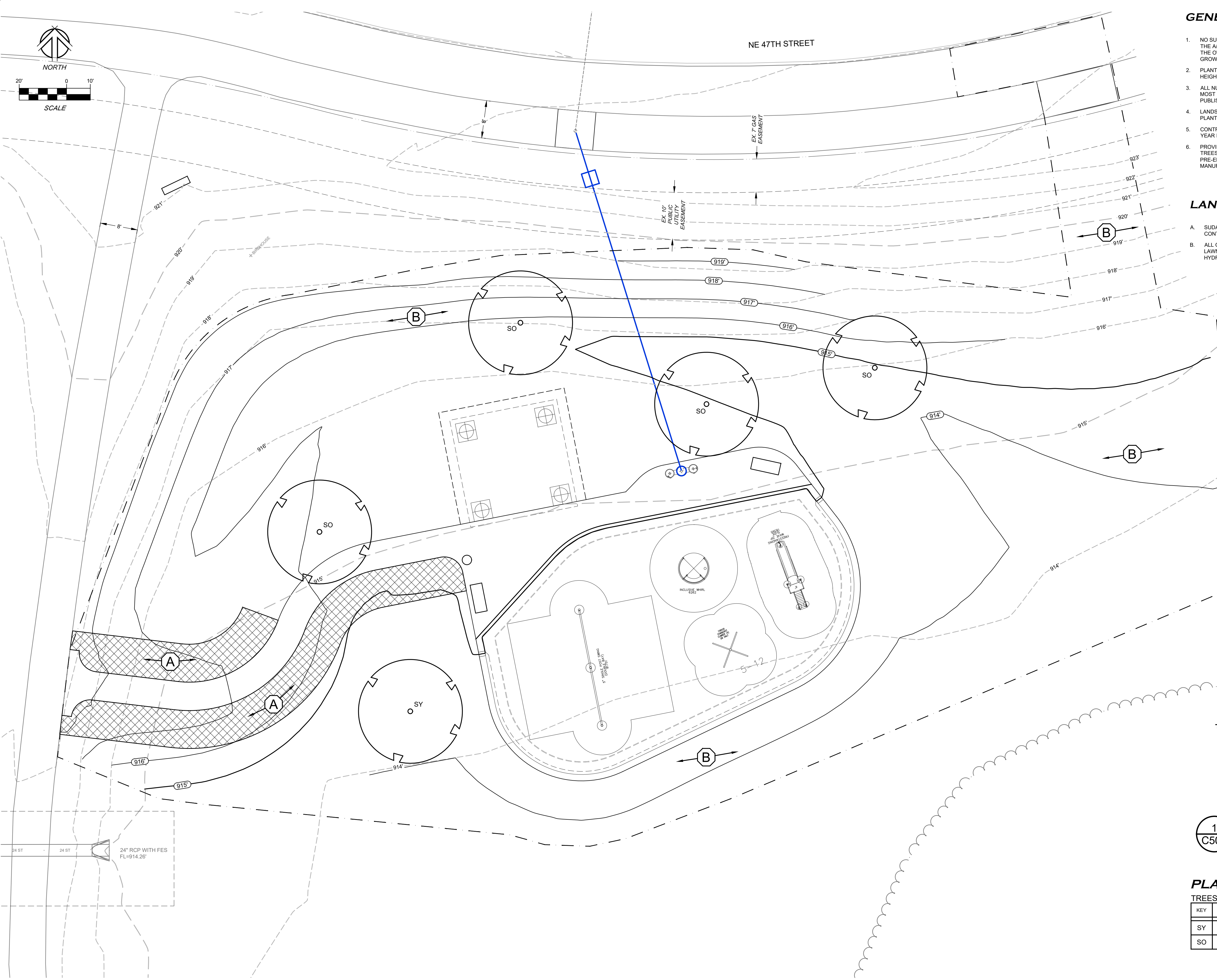
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PROJECT NAME: CREEKSIDE PARK IMPROVEMENTS
575 NE 47TH STREET, ANKENY, IOWA

DESCRIPTION: UTILITY PLAN

NAI NO.:	23006
DATE:	4/7/23
DRAWN BY:	TMB
CHECKED BY:	JTN
SHEET SIZE:	22" X 34"
SHEET TITLE:	C400
SHEET NO.:	6 / 7

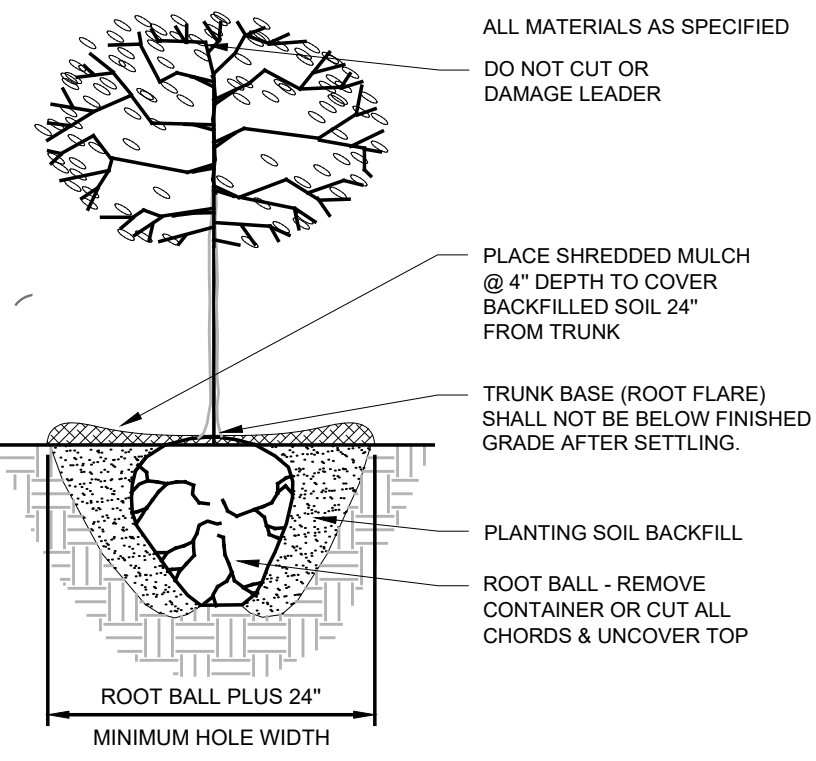


GENERAL LANDSCAPING NOTES

- 1. NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE A/E AND THE OWNER. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE A/E ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- 2. PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- 3. ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 4. LANDSCAPE CONTRACTOR SHALL WATER EACH PLANT IMMEDIATELY AFTER PLANTING.
- 5. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- 6. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD 4-FOOT IN DIAMETER AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES. APPLY A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL HERBICIDE AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER MULCHING.

LANDSCAPE PLAN NOTES

- A. SUDAS TYPE 1 PERMANENT LAWN MIXTURE AND TEMPORARY ROLLED EROSION CONTROL PRODUCT, TOTAL AREA = 125 SY.
- B. ALL OTHER DISTURBED AREAS TO BE SEEDED WITH SUDAS TYPE 1 PERMANENT LAWN MIXTURE AND MULCHED WITH HYDRAULICALLY APPLIED BFM HYDROMULCH.



1

C500

DECIDUOUS TREE PLANTING

SCALE: NOT TO SCALE

PLANTING SCHEDULE

TREES & SHRUBS				
KEY	COMMON / SCIENTIFIC NAME	MIN. SIZE	QTY.	ROOT / COMMENT
SY	American Sycamore Platanus occidentalis	2" Caliper	1	B&B or Container
SO	Swamp Oak Quercus bicolor	2" Caliper	4	B&B or Container

PRELIMINARY - SUBMITTAL #2

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50025-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILES ASSOCIATES

REVISIONS:	
1.) 4/7/23	REVISIONS PER CITY TECH REVIEW
2.)	
3.)	
4.)	
5.)	
6.)	
7.)	

NOTICE: NILES ASSOCIATES, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR FOLLOWING THESE PLANS, SPECIFICATIONS AND FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WITH ANY OTHER APPLICABLE CODES OR REGULATIONS.

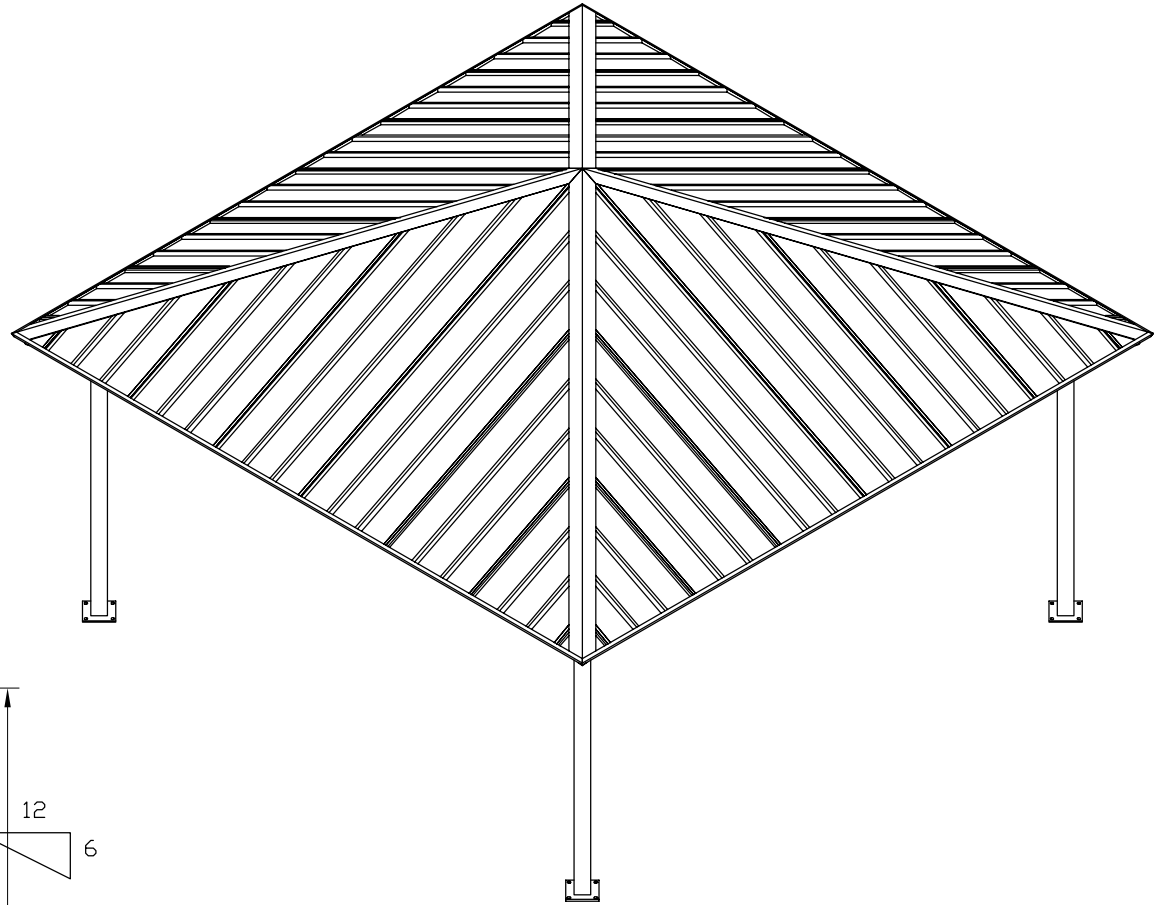
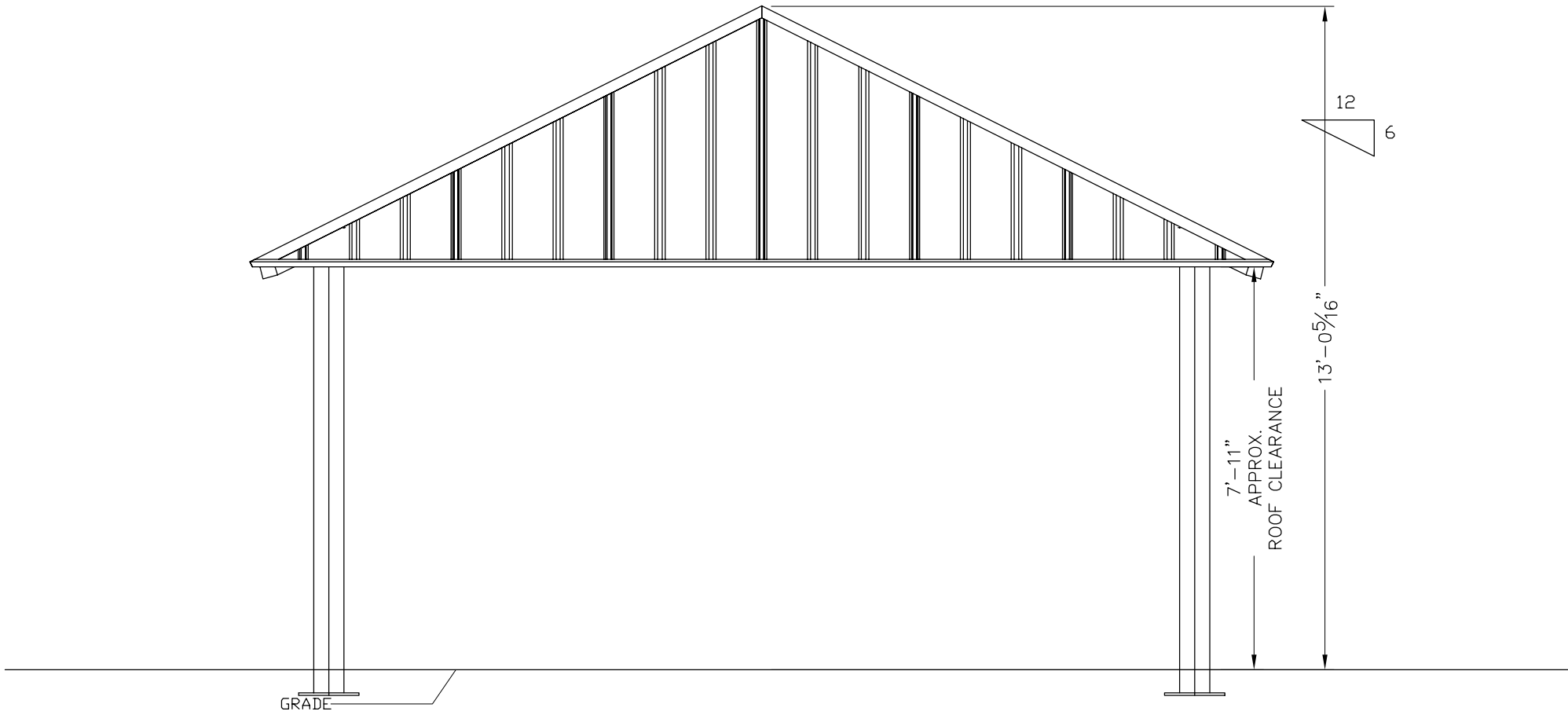
CREEKSIDES PARK IMPROVEMENTS

575 NE 47TH STREET, ANKENY, IOWA

LANDSCAPE PLAN

PROJECT NAME: CREEKSIDES PARK IMPROVEMENTS
DESCRIPTION: LANDSCAPE PLAN

NAI NO.:	23006
DATE:	4/7/23
DRAWN BY:	TMB
CHECKED BY:	JTN
SHEET SIZE:	22" X 34"
SHEET TITLE:	C500
SHEET NO.:	7/7



Color to be:
Tudor Brown or
Forest Green

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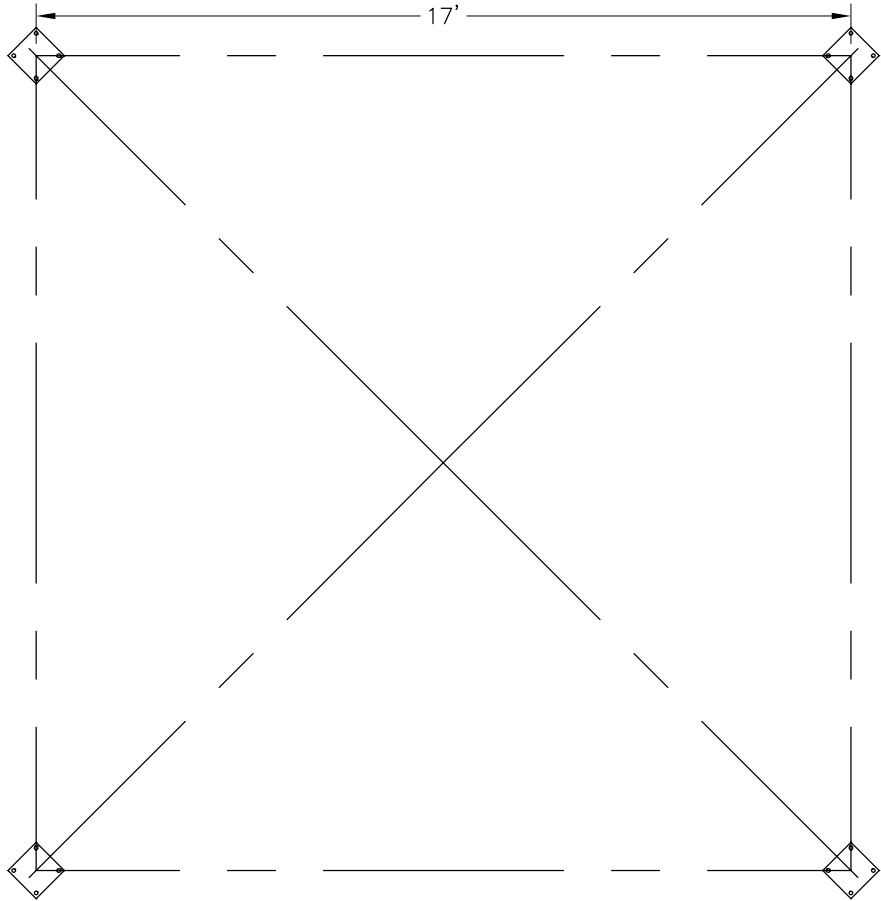
Elevation

DRAWN BY:
ID
DATE:
6/2/2009
JOB NO.:
STANDARD
REVISION:
BUILDING TYPE:
SQ20M-P6
PROJECT NAME:
50-105-45

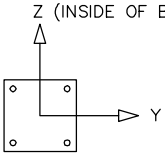
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PRELIMINARY: NOT FOR CONSTRUCTION



ANCHOR BOLT LAYOUT



LOAD COMBINATION	FOUNDATION LOADS				
	AXIAL (Fx)	SHEAR (Fy)	SHEAR (Fz)	MOMENT (My)	MOMENT (Mz)
DL	0.74	0.00	0.00	.05	0.00
SL	4.29	0.00	-0.01	.06	0.00
W-UPLIFT	-1.27	0.19	-0.19	21	21
W-FY	-1.21	-0.19	0.19	-20.5	-20.5
W-FZ	-1.21	-0.19	0.20	-21	-21
E-FY	-0.06	-0.39	-0.39	42.6	-42.6
E-Z	-0.06	-0.39	-0.39	42.6	-42.6

THESE FOUNDATION LOADS ARE FOR ESTIMATING PURPOSE ONLY.
THE ACTUAL LOADS WILL BE DETERMINED IN THE FINAL ENGINEERING

- NOTES:
- TABLE SHOWS UNFACTORED SERVICE LOADS
 - A FOUNDATION DESIGN HAS NOT BEEN PERFORMED BY ICON SHELTER SYSTEMS INC.
 - A LICENSED ENGINEER FAMILIAR WITH SOIL CONDITIONS AT CONSTRUCTION SITE MUST PERFORM A FOUNDATION DESIGN.
 - THE STRUCTURE HAS BEEN ENGINEERED AS AN OPEN STRUCTURE.
 - CONSULT ICON SHELTER SYSTEMS INC. IF THE STRUCTURE IS TO BE ENCLOSED.
 - COORDINATES ARE LOCAL TO THE COLUMN

DEFINITIONS:
DL = SERVICE LEVEL DEAD LOAD REACTION WITH THE GREATEST AXIAL LOAD
SL = SERVICE LEVEL SNOW LOAD REACTION WITH THE GREATEST AXIAL LOAD
W-UL = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST UPLIFT LOAD
W-Y = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION
W-Z = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST SHEAR VALUE ACTING IN THE SAME DIRECTION AS THE DL SHEAR LOAD
E-Y = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Y DIRECTION
E-Z = SERVICE LEVEL SEISMIC LOAD REACTION WITH THE GREATEST MAGNITUDE OF SHEAR IN THE LOCAL Z DIRECTION

3/4" ANCHOR BOLT
W/ (2) 3/4" NUTS
(4) PLCS

LEVELING NUTS

4"

10"

6" EMBEDMENT

CONCRETE FOOTING
NOT TO SCALE

ACTUAL FOOTING DESIGN
SHOWN ON INSTALLATION
DRAWINGS

PRELIMINARY DRAWINGS SHOWN AS 6" BURIED

STANDARD BASE CONNECTION
COLUMN TYPE: A (6" BURIED)

BASE COVERS
OPTIONAL

3/4" ANCHOR BOLT
W/ 3/4" NUTS (4) PLCS

2 1/2"

11 1/2"

CONCRETE FOOTING
NOT TO SCALE

ACTUAL FOOTING DESIGN
SHOWN ON INSTALLATION
DRAWINGS

OPTIONAL BASE CONNECTION
COLUMN TYPE: B (SURFACE MOUNT W/ COVERS)

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Anchor Bolt Layout

DRAWN BY:

ID

DATE:

6/2/2009

JOB NO.:

STANDARD

REVISION:

BUILDING TYPE:

SQ20M-P6

PROJECT NAME:

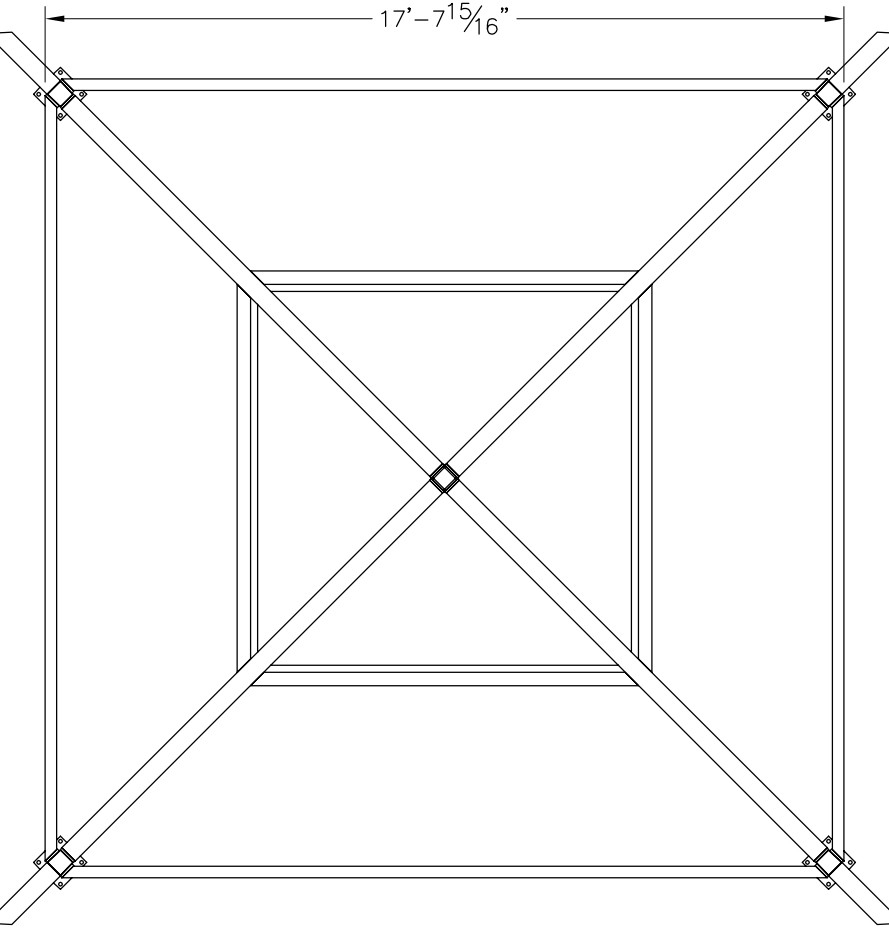
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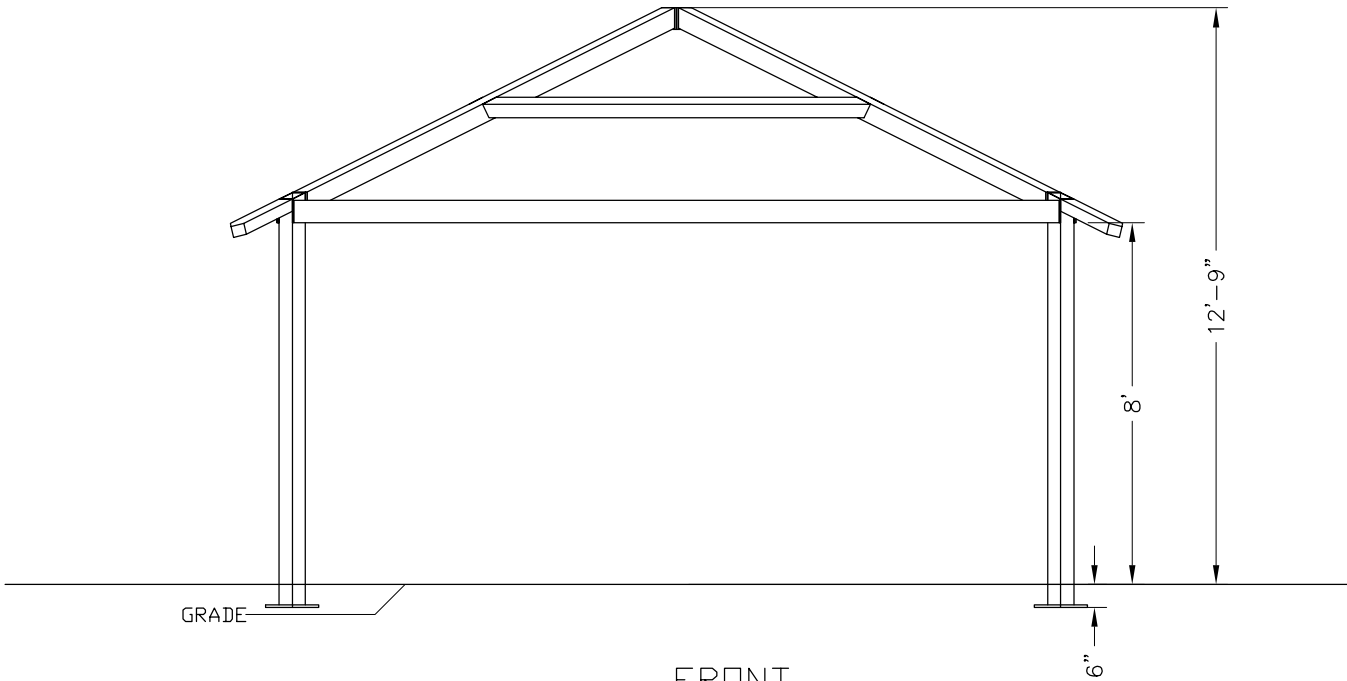
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QF-73-01-42

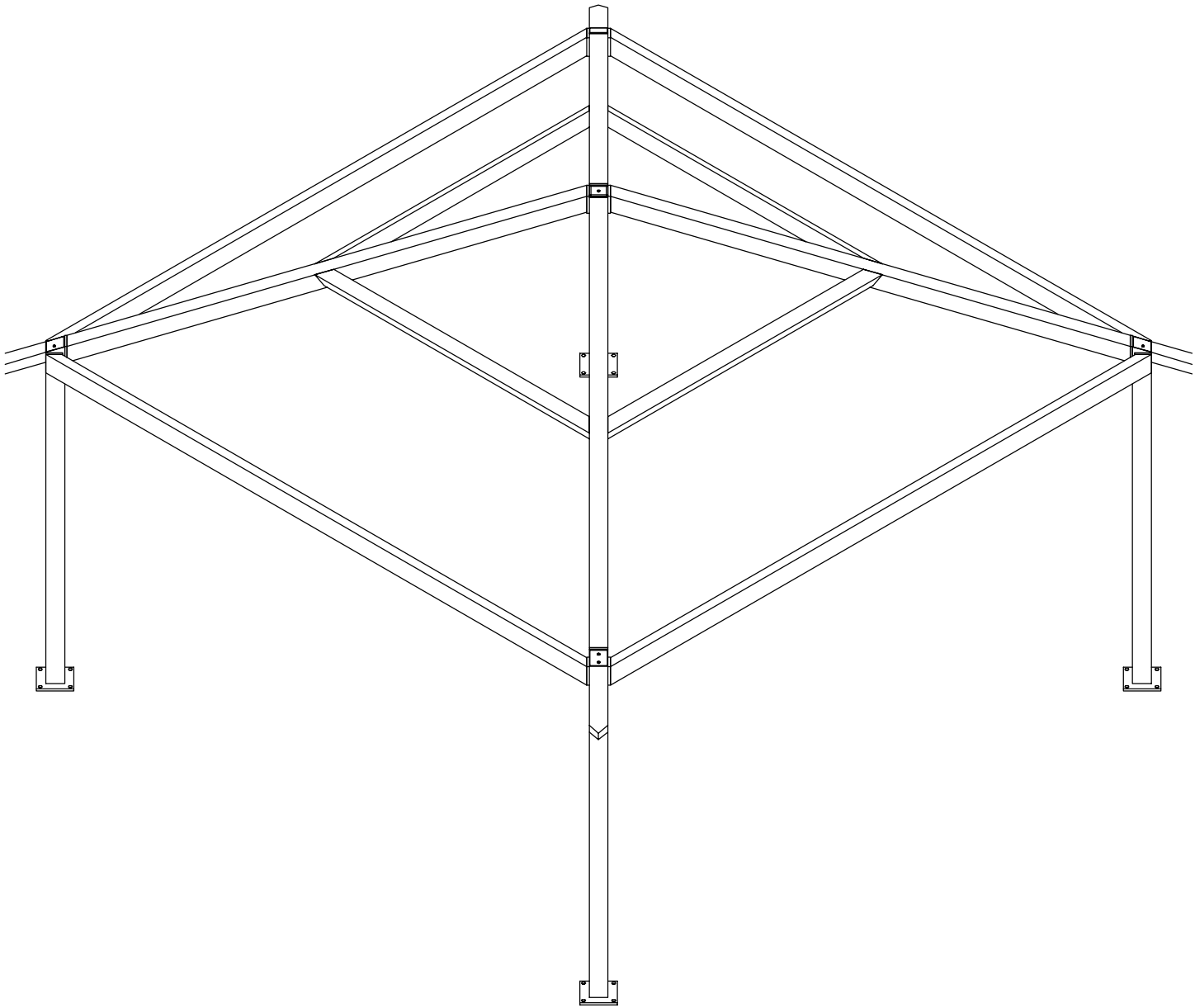
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PLAN



FRONT



ISOMETRIC

ALL STRUCTURAL COMPONENTS WILL BE:
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW

NOTE:
COLUMN SIZE: HSS5x5x0.1875

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Frame

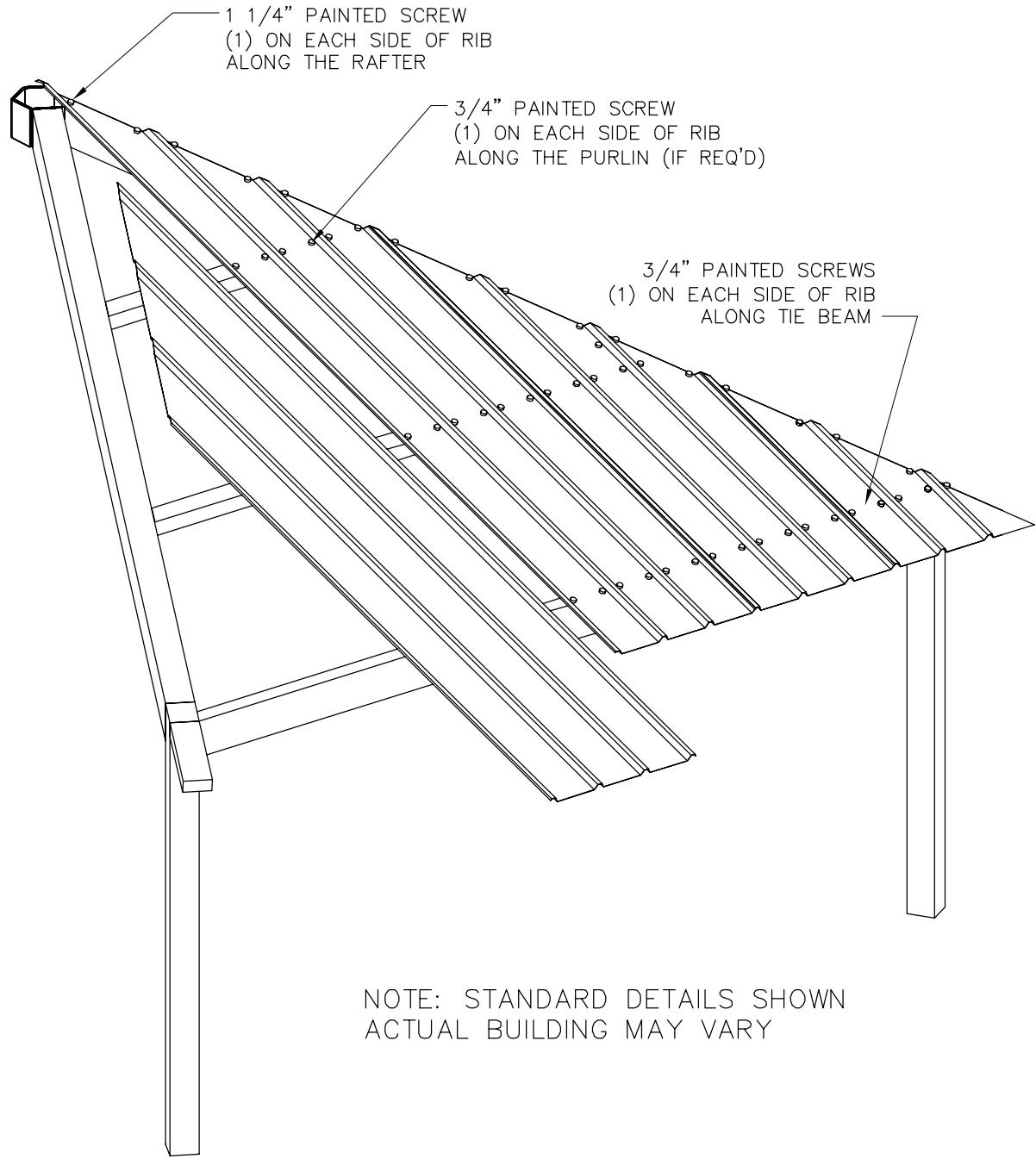
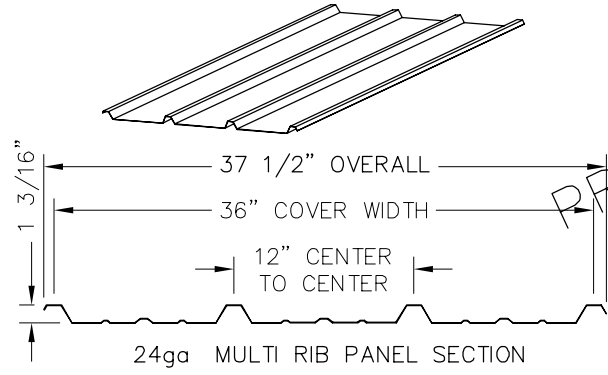
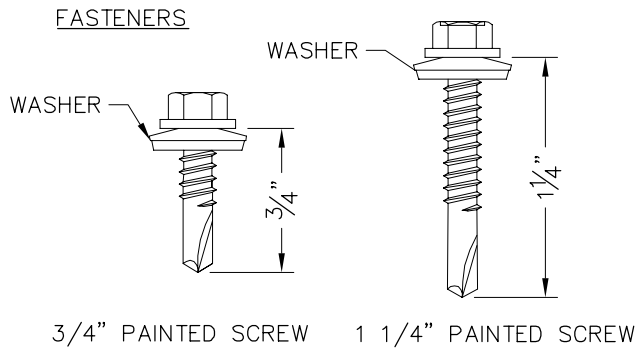
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DATE:
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JOB NO.:
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REVISION:
BUILDING TYPE:
SQ20M-P6
PROJECT NAME:
50-105-45

SHEET

3.0

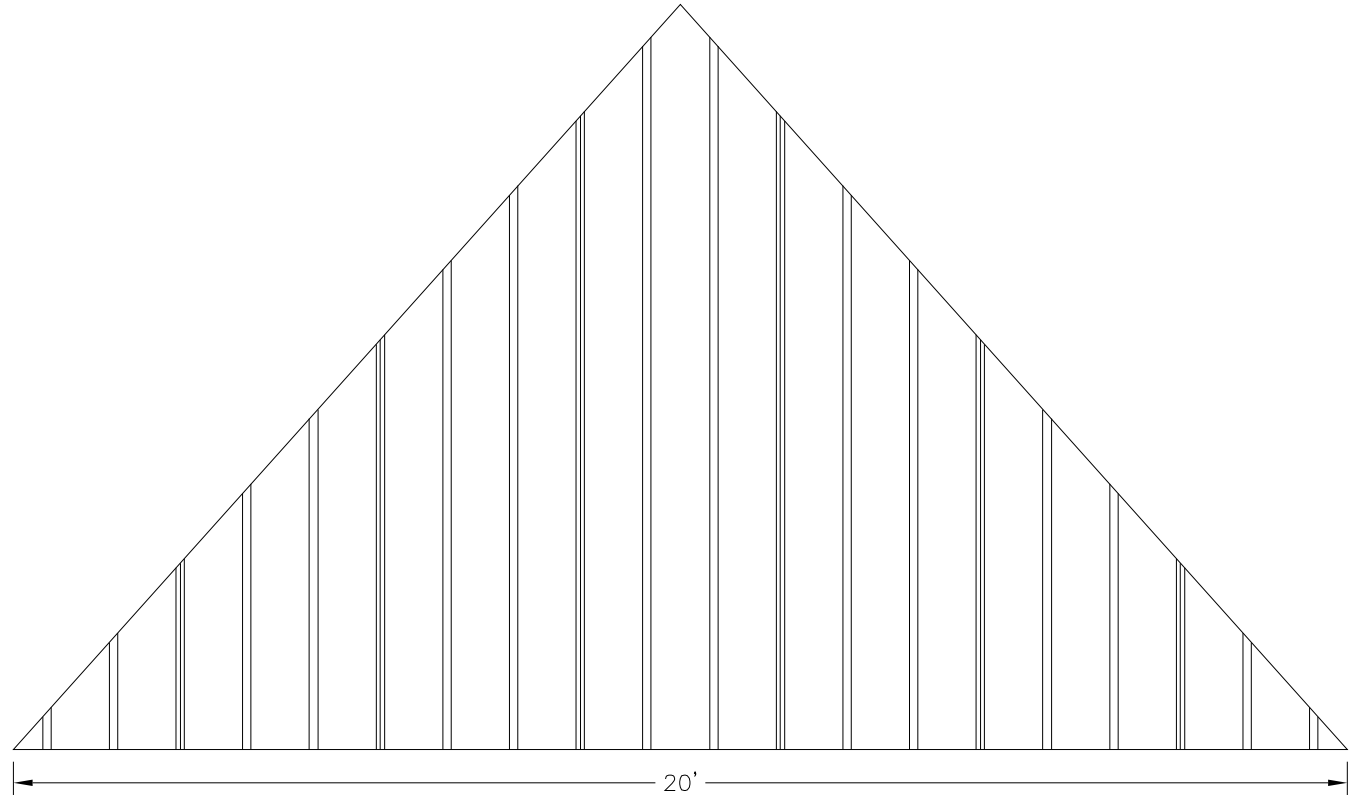
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NOTE: STANDARD DETAILS SHOWN
ACTUAL BUILDING MAY VARY

PRELIMINARY: NOT FOR
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ROOF LAYOUT

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ROOF LAYOUT

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REVISION:
BUILDING TYPE:
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PROJECT NAME:
50-105-45

SHEET
4.0

DWG: S: \Engineering\Standards\Shelters\SQ\20\M-P6-50-105-45\Drawings\Preliminary\SQ20M-P6-50-105-45~12252.DWG