



Meeting Agenda

Plan and Zoning Commission

Tuesday, March 21, 2023

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the March 21, 2023 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the March 7, 2023 minutes of the Plan and Zoning Commission meeting.

2. Delaware Landing Plat 1 Final Plat

Consider MOTION to recommend City Council approval of the Delaware Landing Plat 1 Final Plat.

3. 5075 SE Delaware Avenue - Copeland Commercial Site Plan

Consider MOTION to approve the site plan for 5075 SE Delaware Avenue, subject to recordation of Delaware Landing Plat 1 Final Plat and City Council approval of the associated development agreement.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

I. OLD BUSINESS:

J. REPORTS:

1. March 20, 2023 City Council Report - Staff
2. Director's Report
Tentative agenda items for April 4, 2023
3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

April 3, 2023 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

March 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: <p>Consider MOTION to approve and accept the March 7, 2023 minutes of the Plan and Zoning Commission meeting.</p> <p> </p>

ADDITIONAL INFORMATION:

ATTACHMENTS:

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Meeting Minutes
Plan & Zoning Commission Meeting
Tuesday, March 7, 2023
Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair Ted Rapp called the March 7, 2023 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Trina Flack, Glenn Hunter, Ted Rapp, Annette Renaud, Todd Ripper, Lisa West, and Randy Weisheit. Staff present: E.Jensen, E.Carstens, D.Silverthorn, J.Heil, B.Fuglsang

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve the March 7, 2023 agenda without amendments. Second by A.Renaud. All voted aye. Motion carried 7 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the February 21, 2023 minutes of the Plan and Zoning Commission meeting.

Item #2. Savannah at Ankeny Final Plat and Savannah at Ankeny Site Plan

Motion to recommend City Council approval of the Savannah at Ankeny Final Plat; City Council authorizing for the Mayor to sign a development agreement for a future traffic signal and related improvements at the intersection of NW 18th Street and NW Weigel Drive; and City Council authorizing cost participation for the extension of eight-foot sidewalk along NW Weigel Drive and detectable warning signs in an amount estimated to be \$10,259.50.

Motion to approve the Savannah at Ankeny Site Plan.

Item #3. 2401 W 1st Street - Treehouse Growing and Learning Center Parking Lot Expansion Site Plan

Motion to approve the site plan for 2401 W 1st Street, Treehouse Growing and Learning Center Parking Lot Expansion.

Item #4. Treasure Acres Plat 1 Final Plat (County)

Motion to recommend City Council approval of the Treasure Acres Plat 1 Final Plat, subject to applicable Polk County Subdivision Requirements in lieu of the City of Ankeny Subdivision Regulations.

Referencing Item #2, T.Flack asked for clarification as to who is responsible for the maintenance of private streets within a development. E.Jensen responded that the Association is responsible unless there is an agreement otherwise.

Motion by T.Ripper to approve the recommendations for Consent Agenda Items #1 - #4. Second by L.West. All voted aye. Motion carried 7– 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

There were no business items.

REPORTS

City Council Meeting

E.Jensen reported on the March 6, 2023 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the March 21, 2023 Plan and Zoning Commission meeting and the February 2023 Building Permit Report.

E.Jensen provided an update on administratively approved site plans in the Prairie Trail development including: Nelson Senior Living, District Place, Southview Middle School Restroom Outbuilding, The Fieldhouse at Prairie Trail Sports Complex – West Gym, The Diamond – Prairie Trail Sports Complex Phase 2, District Building 7 and District 7 Parking Lot.

E.Jensen provided an update on administratively approved site plans in the Crosswinds PUD including: Lot 1, Crosswinds Plat 1 – DIA 5 Amazon, DIA5 Redevelopment, Crosswinds Distribution Center II, Kreg Tool Corporate Headquarters, Ruan Transportation, Lot 1, Swanwood Logistics Center Plat 2, Lot 1, Swanwood Logistics Center Plat 1 – Brown Warehouse and Housby Ankeny.

Commissioner's Reports

There were no reports.

MISCELLANEOUS ITEMS

March 20, 2023 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Second by G.Hunter. Meeting adjourned at 7:03 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

March 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Delaware Landing Plat 1 Final Plat

EXECUTIVE SUMMARY:

Staff Report attached

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

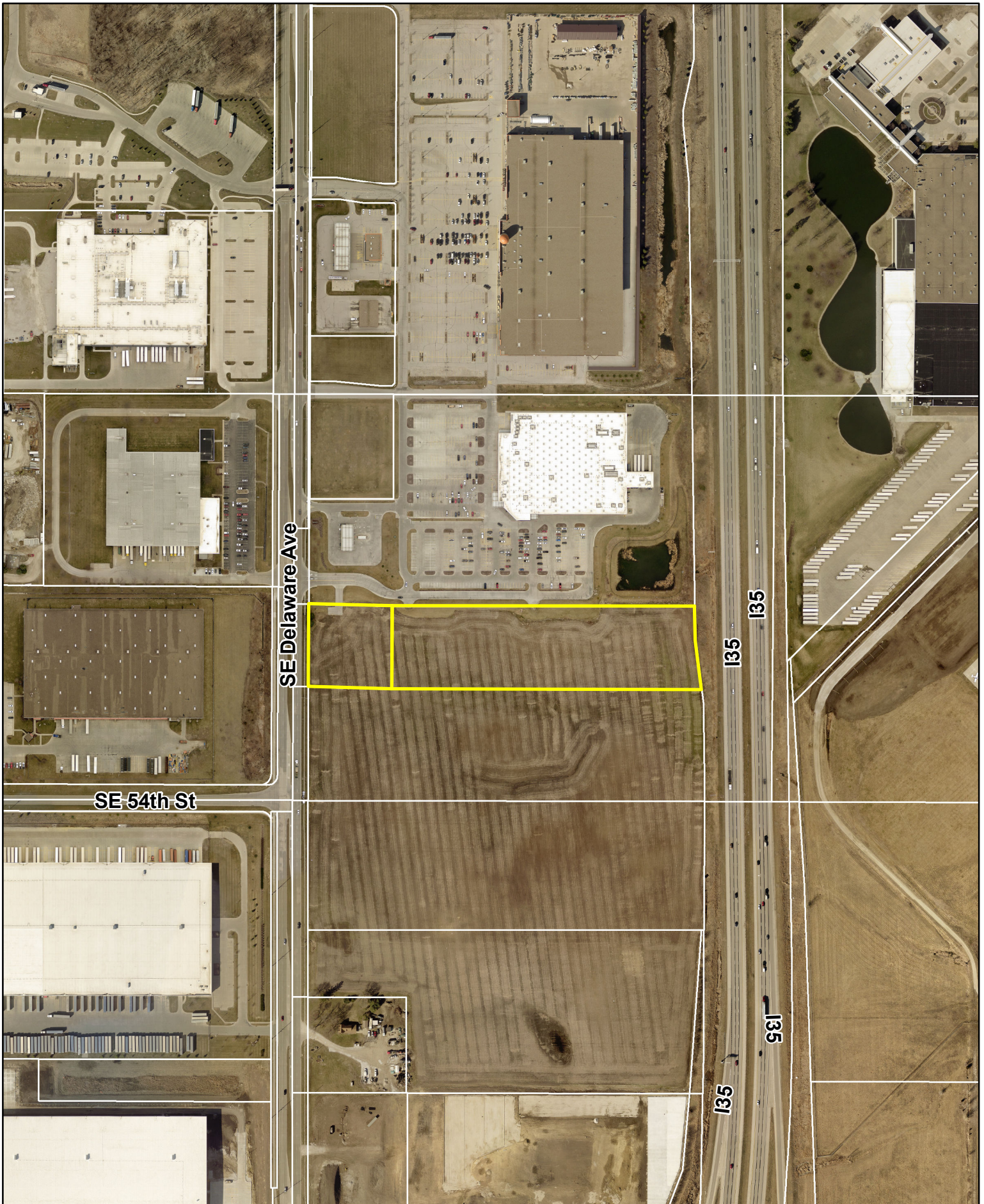
ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the Delaware Landing Plat 1 Final Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Final Plat



N



1 inch = 400 feet

Date: 11/2/2022

Delaware Landing Plat 1 - Final Plat



*Plan and Zoning Commission
Staff Report*

Meeting Date: March 21st, 2023

Agenda Item: Delaware Landing Plat 1 - Final Plat
Report Date: March 15th, 2023
Prepared by: Bryan Morrissey, *ESC*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of the Delaware Landing Plat 1 Final Plat.

Project Summary:

The Delaware Landing Plat 1 – Final Plat is a proposed 8.35-acre (+/-) final plat located east of SE Delaware Avenue and immediately south of an existing Sam’s Club in the southeastern quadrant of Ankeny. The final plat creates two lots with two different zoning classifications; Lot 1 is zoned C-2, General Retail and Highway Oriented Commercial District w/restrictions, while Lot 2 is zoned R-1, One-Family Residence District. Staff anticipates Lot 2 being rezoned at some point in the future prior to development on the lot. Access to the site will come via the existing Sam’s Club private drive to the north of the site, while public improvements call for a right turn-lane and a traffic signal at the intersection of the Sam’s Club private drive and SE Delaware Avenue.

Project Report:

- Streets:** New public streets are not included as a part of the proposed development, as vehicular access to the site will come from the existing Sam’s Club private drive off SE Delaware Avenue. Public improvements stemming from the required traffic impact study call for a right turn-lane and a traffic signal to be installed at the intersection of the private drive and SE Delaware Avenue.
- Water:** An existing twelve-inch water main exists near the northwest corner of Lot 1. Eight-inch mains will stem from that existing line and will be extended near the north and west property lines of Lot 1.
- Sewer:** Eight-inch sanitary service will be extended along the northern property line of Lot 1 on the site by connecting to the existing sanitary line that’s present near the northwest corner of Lot 1.
- Drainage:** Stormwater in the area generally flows to the south and east as a stormwater management easement has been proposed on the eastern side of Lot 1. Individual lots on the site will require on-site detention
- Parkland:** Parkland dedication is not required for commercial developments.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: Delaware Landing Plat 1
NAME OF OWNER: Denny Elwell Family, LC
NAME OF DEVELOPER: Copeland Development & Construction CO., Inc.

GENERAL INFORMATION:

PLAT LOCATION: Intersection of SE Delaware Avenue and Sam's Club private drive.
SIZE OF PLAT: 8.35 acres
ZONING: Lot 1: C-2, General Retail and Highway Oriented Commercial District w/restrictions,
Lot 2: R-1, One-Family Residence District

LOTS:

NUMBER: 2
SIZE/DENSITY: Lot 1: 6.42 acres Lot 2: 1.93 acres
USE: Commercial
BUILDING LINES: Lot 1 - Front = 35', Side = none required, except when adjacent to any residential district, in which case - 25', Rear = 40', Lot 2 - Front = 35', Side = 18' (one story) or 20' (more than one story), Rear = 35'

PARK SITE DEDICATION: Not Required for Commercial Developments

ADJACENT LANDS:

NORTH: C-2, General Retail and Highway Oriented Commercial District w/restrictions
SOUTH: C-2, General Retail and Highway Oriented Commercial District w/restrictions
EAST: Interstate-35
WEST: R-1, One-Family Residence District (undeveloped)

WASTE WATER:

PROJECTED FLOWS: 8.35 acres of developable land x 3,000 gal. per day/acre of developable land = 25,050 GPD
TREATMENT PLANT CAPACITY (FOUR MILE): Design: 47 MGD; current daily avg. 18 MGD

STORM WATER:

BASIN FLOWS: This plat lies in the Middle Four Mile Creek Basin

WATER SYSTEM:

USAGE: 8.35 acres of developable land x 3,000 gal. per day/acre of developable land = 25,050 GPD estimate
SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD.

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

September 30, 2022

Plan and Zoning Commission
Attn: Eric Carstens
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RE: Delaware Landing
Preliminary Plat, Final Plat and Site Plan

Dear Plan and Zoning Commission Members:

On behalf of Denny Elwell Family LC and Copeland Development, we are pleased to submit herewith the documents for the Preliminary Plat, Final Plat and Site Plan for the proposed development of 8.35 acres of property south of Fleet Farm on the east side of Delaware Avenue. The property is proposed to be platted into 2 lots for development. The site Plan will be within the eastern 6.42 acre lot. The existing C-2 zoning supports the proposed use.

The site plan includes a new retail building with approximately 55,000 square feet. Other site improvements include parking, storm water basins, utility service connections and landscaping.

Please accept this submittal for consideration at the regular Plan and Zoning Commission meeting on November 8th, 2022.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

Doug Mandernach

cc: Chris Murray, Denney Elwell Company (via email)
Josh Copeland, Copeland Development (via email)

RECEIVED

SEP 30 2022

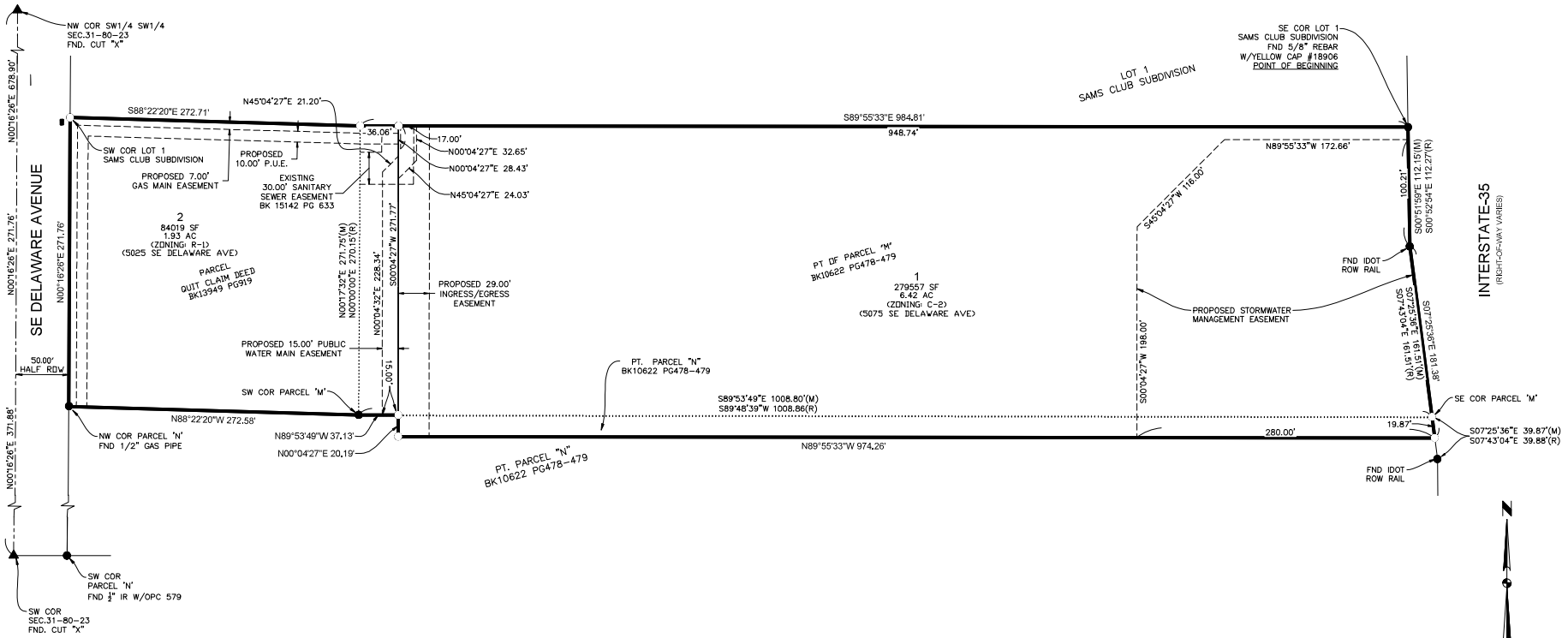
CITY OF ANKENY

4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322 • P 515+369+4400 • F 515+369+4410 • WWW.CDA-ENG.COM

INDEX/LEGEND
LOCATION: A PART OF PARCEL "N" AND PARCEL "N"
AND
QUIT CLAIM DEED RECORDED IN BOOK
13949, PAGE 919
REQUESTOR: DENNY ELWELL FAMILY LLC
PROPRIETOR: DENNY ELWELL FAMILY LLC
SURVEYOR: MATT THOMAS
COMPANY: CIVIL DESIGN ADVANTAGE
RETURN TO: 4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: 515-369-4400

DELAWARE LANDING PLAT 1

FINAL PLAT



OWNER
DENNY ELWELL FAMILY LLC
2401 SE TONES DR STE 17
ANKENY, IA 50021
CONTACT: CHRIS MURRAY
PH: (515) 964-1587

ENGINEER
CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: DOUG MANDERNACH
EMAIL: DOUGMANDA-ENG.COM
PH: (515) 369-4400

SURVEYOR
CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLIN
EMAIL: CHARLIE@CDA-ENG.COM
PH: (515) 369-4400

DATE OF SURVEY
09/14/2022

ZONING
LOT 1
C-2: GENERAL RETAIL AND HIGHWAY ORIENTED
COMMERCIAL DISTRICT
LOT 2
R-1: ONE-FAMILY RESIDENCE DISTRICT

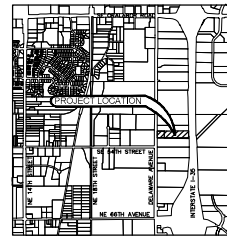
BULK REGULATIONS:
LOT 1
SETBACKS:
FRONT = 35 FEET
REAR YARD = 40 FEET
MAXIMUM HEIGHT = 45 FEET
SIDE YARDS = NO MINIMUM REQUIREMENTS FOR ANY
OTHER PERMITTED USES, EXCEPT WHEN ADJOINING
ANY R DISTRICT, IN WHICH CASE, 25 FEET.

LOT 2
SETBACKS:
FRONT = 35 FEET
SIDE:
ONE-STORY = IF ONE STORY: 18 FEET; 8
FEET MINIMUM ON ONE SIDE
TWO-STORY = IF TWO-STORY: 20 FEET; 10
FOOT MINIMUM ON ONE SIDE
CHURCH/SCHOOL
REAR = 35 FEET ON EACH SIDE
= 35 FEET

MAXIMUM HEIGHTS:
GARAGE = 14 FEET
PRINCIPAL BUILDING (DWELLING) = 35 FEET
PRINCIPAL BUILDING (NON-DWELLING) = 45 FEET

PLAT DESCRIPTION
A PART OF PARCELS "M" AND "N" AS SHOWN ON THE CORRECTED PLAT OF SURVEY RECORDED IN BOOK 10622, PAGE 478-479 AND A PART OF THE PROPERTY DESCRIBED IN THE QUIT CLAIM DEED RECORDED IN BOOK 13949, PAGE 919, ALL BEING IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF LOT 1, SAMS CLUB SUBDIVISION, AN OFFICIAL PLAT IN SAID CITY OF ANKENY; THENCE SOUTH 00°51'59" EAST ALONG THE EAST LINE OF SAID PARCEL "M", 112.15 FEET; THENCE SOUTH 07°25'36" EAST ALONG SAID EAST LINE AND THE EAST LINE OF SAID PARCEL "N", 181.38 FEET; THENCE NORTH 89°55'33" WEST, 874.28 FEET; THENCE NORTH 00°04'27" EAST, 20.19 FEET TO THE NORTH LINE OF SAID PARCEL "N"; THENCE NORTH 89°53'49" WEST ALONG SAID NORTH LINE, 371.3 FEET; THENCE NORTH 88°22'20" WEST ALONG SAID NORTH LINE, 272.58 FEET TO THE NORTHWEST CORNER OF SAID PARCEL "N"; THENCE NORTH 00°16'26" EAST ALONG THE EAST LINE OF WAY LINE OF SE DELAWARE AVENUE, 271.76 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, SAMS CLUB SUBDIVISION; THENCE SOUTH 88°22'20" EAST ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 272.71 FEET; THENCE SOUTH 89°55'33" EAST ALONG SAID SOUTH LINE, 984.81 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.35 ACRES (363,575 SQUARE FEET).
THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

VICINITY MAP



CITY OF ANKENY

LEGEND:

SECTION CORNER AS NOTED
1/2" REBAR, YELLOW CAP #16747
(UNLESS OTHERWISE NOTED)
PLATTED BEARING & DISTANCE
MEASURED BEARING & DISTANCE
RECORDED BEARING & DISTANCE
DEEDED BEARING & DISTANCE
MINIMUM PROTECTION ELEVATION
PUBLIC UTILITY EASEMENT
CENTERLINE
SECTION LINE
EASEMENT LINE

FOUND SET
P M
D R
MPE
P.U.E.

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WAS PERFORMED BY ME OR UNDER MY ORDER AND SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL LAND SURVEYOR UNDER THE PROVISIONS OF IOWA LAW.

DATE: 09/14/2022
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL: 1
THIS SHEET

DELAWARE LANDING PLAT 1
FINAL PLAT

ANKENY, IOWA

CIVIL DESIGN ADVANTAGE

ENGINEER, JUN

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

REVISIONS

DATE	REVISIONS
3/10/2023	FOURTH SUBMITTAL
11/25/2022	THIRD SUBMITTAL
11/25/2022	SECOND SUBMITTAL
10/24/2022	FIRST SUBMITTAL

2205.322



PLAN AND ZONING COMMISSION

March 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

5075 SE Delaware Avenue - Copeland Commercial Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 5075 SE Delaware Avenue, subject to recordation of Delaware Landing Plat 1 Final Plat and City Council approval of the associated development agreement.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations - Color



1 inch = 300 feet
Date: 11/29/2022

5075 SE Delaware Avenue Copeland Commercial Site Plan



*Plan and Zoning Commission
Staff Report*

Meeting Date: March 21, 2023

Agenda Item: 5075 SE Delaware Avenue – Copeland Commercial Site Plan

Report Date: March 15, 2023

Prepared by: Bryan Morrissey
Associate Planner

ESL

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 5075 SE Delaware Avenue, subject to recordation of the Delaware Landing Plat 1 – Final Plat and City Council approval of the associated development agreement.

Project Summary:

The subject development is located east of SE Delaware Avenue on Lot 1, Delaware Landing Plat 1, within the southeastern quadrant of Ankeny. The site itself is approximately 6.42 acres (+/-) in size and is zoned C-2, General Retail and Highway Oriented Commercial District w/restrictions. An existing Sam's Club borders the subject property to the north along with a private drive that stems from SE Delaware Avenue. The applicant is proposing to construct an approximate 55,000 square-foot retail building that will house a future Hobby Lobby.

The exterior of the proposed building will be constructed primarily of tilt-up concrete paneling, EIFS banding, and glass. A combination of split face CMU and concrete paneling is present at the base of the entire perimeter of the structure, while the minimum primary material requirements have been satisfied for each wall on the proposed elevations. The site plans also show a trash compactor that will be attached to the rear of the proposed building that will be screened with evergreen trees to reduce its visibility on public ways and neighboring properties.

The site plan shows two access points to the development, both stemming from the existing Sam's Club private drive to the north of the subject property. One access drive will be used by patrons that leads to the parking area on the west side of the building while the other access point is located on the east side of the building that leads to a truck docking/loading station and the trash compactor on the site. The required traffic impact study associated with this development warranted a right-turn lane and a traffic signal at the intersection of the Sam's Club private drive and SE Delaware Avenue. Both of the previously mentioned public improvements will be completed prior to the City issuing a certificate of occupancy for the building.

Parking stalls are shown on the west side of the proposed building with 200 stalls being provided in total. The Ankeny Municipal Code requires a minimum of 138 parking stalls based on the size and use of the development, which the provided plans satisfy. The landscape and screening requirements of the Code have also been met with what's provided, as screening will be installed along the parking area on the west side of the building and the east access drive to limit any impacts those areas may have on adjacent properties. Utility wise, the development will be serviced by connecting to an existing twelve-inch water main that is located near the northwest corner of the property. From there, eight-inch water lines will be extended along the north and west property lines on the lot. Eight-inch sanitary service will be extended throughout the

site. Stormwater in the area generally flows to the south and the east and will be collected by one of the multiple stormwater intakes shown on the site plan, before ultimately being detained in the proposed detention pond on the east side of the building.

Site Plan Worksheet
5075 SE Delaware Avenue – Copeland Commercial Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The proposed building sits near the center of Lot 1, Delaware Landing Plat 1 with the primary building façade facing west towards SE Delaware Avenue. Parking is located west of the proposed building while a drive for truck loading and docking is located on the east side of the building. Plantings are proposed around the proposed parking areas and drives to lessen their impacts on surrounding properties.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan generally complies with the landscaping and parking requirements of the Code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides adequate parking and circulation based on the overall size and use of the property. Code requires a total of 138 parking stalls for the development with the proposed plans providing a total of 200 spaces. A sidewalk will be installed along the northern property line on the site that will run from the proposed building to the existing sidewalk along SE Delaware Avenue.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

A traffic impact study was approved by City staff earlier this year that warranted a right turn-lane and a traffic signal at the intersection of the Sam's Club private drive and SE Delaware Avenue. The turn-lane and the traffic signal will need to be complete before a certificate of occupancy is issued for the development.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The parking area located on the west side of the building will be surrounded with plantings to reduce their impacts on neighboring properties. The drive aisle on the east side of the building will also have plantings installed to screen that area from Interstate-35.

6. **Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

A trash compactor is proposed on the east side of the building near the truck docking station. Plantings will be installed to reduce its impacts from public ways.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Lighting on the site will be directed away from adjoining properties and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water on the site will drain from one of the multiple storm water intakes on the site to the detention basin on the east side of the proposed building.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The development will be serviced via eight-inch water and eight-inch sanitary lines. Connections for the water and sanitary services will be made by tapping into the existing lines that are located near the northwest corner of Lot 2.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The proposed plans meet the open space requirements of the Code with the majority of the open space being provided on the east side of the proposed building.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed landscaping conforms and generally meets the requirements of the Code.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed 55,000 square-foot building is comparable in size and scale to the other commercial developments along Delaware Avenue. The proposed size and design align with the regulations of the C-2 zoning district.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building materials of the proposed building consist primarily of concrete tilt-up panels and glass. These materials are similar to the other larger commercial development along Delaware Avenue. The minimum primary material requirements of the Code have been met.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

Any mechanical or utility equipment on the roof will be screened appropriately to not be visible from public view. The proposed trash compactor will have plantings installed surrounding it to reduce its visibility on public ways.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one building being proposed on the site.

C. Signs

Final design and allowances of signage will be determined with future sign permits.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks and other sites in the neighboring area.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The layout and circulation system for traffic on the site is appropriate and comparable to similar commercial development along SE Delaware Avenue.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed 55,000 square-foot building is comparable in scale and style to the existing commercial developments along Delaware Avenue. The building will be constructed primarily of concrete and glass.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impact on these utility systems can be accommodated adequately.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

September 30, 2022

Plan and Zoning Commission
Attn: Eric Carstens
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RE: Delaware Landing
Preliminary Plat, Final Plat and Site Plan

Dear Plan and Zoning Commission Members:

On behalf of Denny Elwell Family LC and Copeland Development, we are pleased to submit herewith the documents for the Preliminary Plat, Final Plat and Site Plan for the proposed development of 8.35 acres of property south of Fleet Farm on the east side of Delaware Avenue. The property is proposed to be platted into 2 lots for development. The site Plan will be within the eastern 6.42 acre lot. The existing C-2 zoning supports the proposed use.

The site plan includes a new retail building with approximately 55,000 square feet. Other site improvements include parking, storm water basins, utility service connections and landscaping.

Please accept this submittal for consideration at the regular Plan and Zoning Commission meeting on November 8th, 2022.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

Doug Mandernach

cc: Chris Murray, Denney Elwell Company (via email)
Josh Copeland, Copeland Development (via email)

RECEIVED

SEP 30 2022

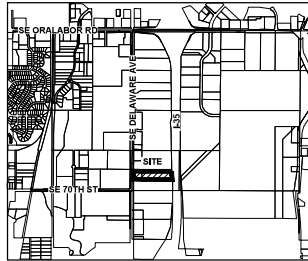
CITY OF ANKENY

4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322 • P 515+369+4400 • F 515+369+4410 • WWW.CDA-ENG.COM

SITE PLAN FOR: COPELAND COMMERCIAL

ANKENY, IOWA

VICINITY MAP NOT TO SCALE



ANKENY, IOWA

OWNER

DENNY ELLWELL FAMILY LC
2401 SE TONES DR STE 17
ANKENY, IA 50021
CONTACT: CHRIS MURRAY
PH: (515) 984-1587

APPLICANT

COPELAND DEVELOPMENT AND CONSTRUCTION CO., INC
101 VINE STREET
CHILLICOTHE, MO 64601
CONTACT: JOSH COPELAND
PH: (816) 804-3985
EMAIL: JOSH@CDCONC.COM

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCLOTHLEN
EMAIL: DCM@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCLOTHLEN
EMAIL: CHARLIE@CDA-ENG.COM
PH: (515) 369-4400

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = MARCH 2023
ANTICIPATED FINISH DATE = MARCH 2024

SUBMITTAL DATES

FIRST SUBMITTAL: 09/30/2022
SECOND SUBMITTAL: 10/28/2022
THIRD SUBMITTAL: 11/23/2022
FOURTH SUBMITTAL: 03/10/2023

LEGAL DESCRIPTION

LOT 1, DELAWARE LANDING PLAT 1

ZONING

C-2: GENERAL RETAIL AND HIGHWAY ORIENTED
COMMERCIAL DISTRICT

PROJECT SITE ADDRESS

5075 SE DELAWARE AVENUE
ANKENY, IA 50021

EXISTING/ PROPOSED USE

PROPOSED USE: RETAIL STORE

DEVELOPMENT SUMMARY

AREA: 6.42 ACRES (279,557 SF)

ZONING: C-2

SETBACKS:
FRONT: 35 FEET
SIDE: NONE
REAR: 40 FEET

OPEN SPACE CALCULATION:

TOTAL SITE: = 279,557 (6.42 AC.)
BUILDING: = 55,000 SF
PARKING AREAS: = 30,465 SF
DRIVEWAYS: = 49,544 SF
SIDEWALK: = 5,489 SF
TRUCK RAMP & EQUIP: = 2,111 SF
OPEN SPACE PROVIDED = 137,227 SF (49.0%)

PARKING:

TOTAL REQUIRED (1 SPACE PER GROSS 400 SF)
55,000 SF/400 = 138 SPACES
TOTAL PROVIDED = 200 SPACES

ACCESSIBLE PARKING:

TOTAL REQUIRED
VAN ACCESSIBLE = 1 SPACE
CAR ACCESSIBLE = 5 SPACES
TOTAL PROVIDED = 6 SPACES

ERU CALCULATION:

MAXIMUM ERU = 70
IMPERVIOUS (SF)/4000 SF = 142,330 SF/4000 SF
= 35.6
ERU = 36

DATE OF SURVEY

09/14/2022

BENCHMARKS

- CDA SET BM, TOP OF SOUTH BASE PLATE OF LIGHT POLE IN THE SE CORNER OF THE SAMS CLUB PARKING LOT. ELEV=944.37
- CDA SET BM, TOP OF THE HYDRANT AT THE SW CORNER OF THE INTERSECTION OF SE DELAWARE AVENUE AND THE SOUTHERN ENTRANCE TO THE SAMS CLUB PARKING LOT. ELEV=956.36

GENERAL NOTE

A TEMPORARY CERTIFICATE OF OCCUPANCY CANNOT BE ISSUED UNTIL THE WALK-THROUGH FOR THE ASSOCIATED TURN LANE PUBLIC IMPROVEMENTS HAS BEEN COMPLETED, AND THE FULL CERTIFICATE OF OCCUPANCY CANNOT BE ISSUED UNTIL THESE PUBLIC IMPROVEMENTS HAVE BEEN ACCEPTED.

INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.1-C1.2	DETAILS
C2.1	DEMOLITION PLAN
1/1	ALTA/NSPS LAND TITLE SURVEY
C4.1-C4.2	DIMENSION PLAN
C4.3	TENANT CAI PLAN
C5.1-C5.3	GRADING PLAN
C6.1	EROSION AND SEDIMENT CONTROL PLAN
C7.1-C7.2	UTILITY PLAN
C7.3	TENANT CAI UTILITY PLAN
C8.1-C8.2	LANDSCAPE PLAN



1-800-292-8989

www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
WATERMAIN WITH SIZE	CABLE TV JUNCTION BOX
WATER SERVICE	CABLE TV MANHOLE/VAULT
SAWOUT (FULL DEPTH)	MAIL BOX
SILT FENCE	BENCHMARK
USE AS CONSTRUCTED	SOIL BORING
MINIMUM PROTECTION ELEVATION	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY COSECO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. DATE: 10/28/2022 USE (NO. 1000) DATE: 12/31/2024 SHEETS C0.1 - C2.1, SHEETS C4.1 - C7.3
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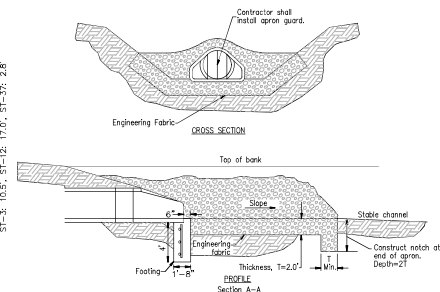
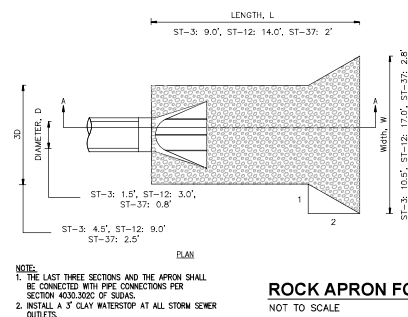
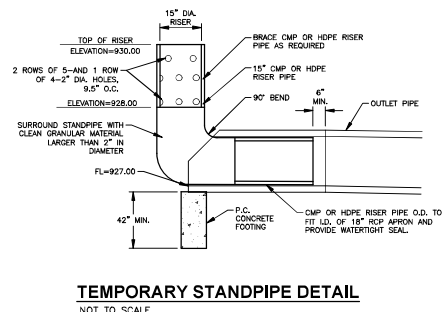
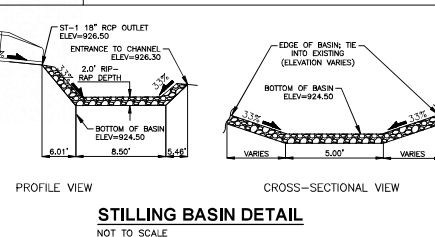
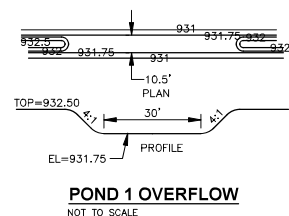
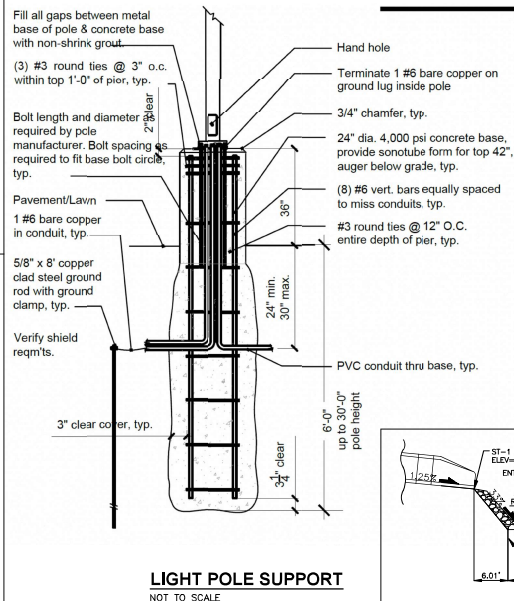
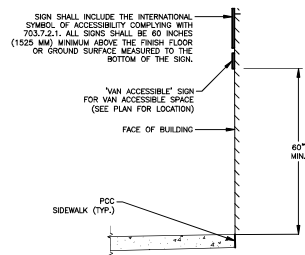


CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400

PROJECT NO. 2205.322



D3600-SERIES

Duplex Grinder Package

Liberty Pumps

A Family and Employee Owned Company

Factory Assembled 2 hp Grinder Pumps 36" Diameter System 2" Discharge

Features

- Integral check valves
- QuickTree® pre-mounted float switch system for pump control and alarm
- 4" Inlet hub with rubber pipe seal
- Factory pre-assembled guide rail system
- Galvanized guide rail piping (stainless optional)
- Factory pre-assembled Schedule 80 PVC discharge piping with ball valves
- Fiberglass basin with anti-flotation collar
- Standard green fiberglass cover, solid (optional black steel, solid)
- All stainless-steel supports and brackets pre-mounted
- NEMA 4X junction box for electrical connections, pre-mounted
- Stainless-steel chain for pump lift-out

*Other custom basin sizes available consult factory



4" Inlet
(unmounted)



Available
Heights
48"
60"
72"
84"
96"
120"



Available with
LSG or LSGX-Series



innovate. evolve

D3600-Series

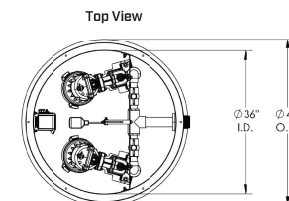
Features

- 2 hp Grinder pumps
- Choose from single stage LSG or 2-stage LSGX-Series pumps
- Available in a wide range of voltages
- 2" Discharge
- 25' Power cable length

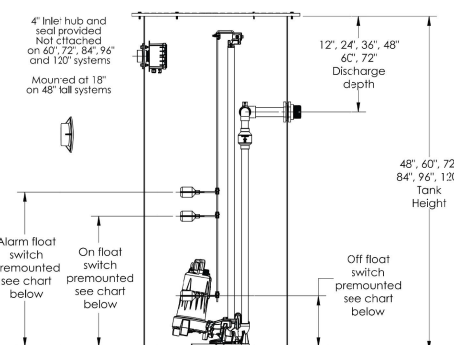
(See LSG or LSGX-Series literature for complete pump specifications.)



Dimensional Data



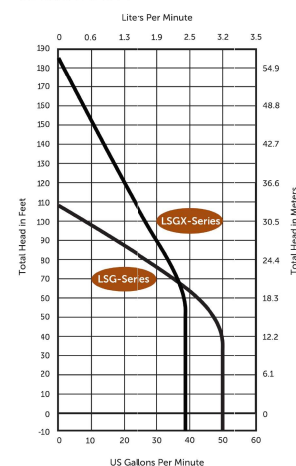
Top View



Side View

Performance Curves

60 Hz, 3450 RPM



Factory Set Control Levels

MODEL	OFF LEVEL	ON LEVEL	ALARM LEVEL	VOLUME PER PUMP CYCLE	TOTAL BASIN CAPACITY
D3648	13" (33 cm)	25" (64 cm)	31" (79 cm)	53 gal (201 L)	211 gal (799 L)
D3660	13" (33 cm)	28" (71 cm)	34" (86 cm)	66 gal (250 L)	264 ga (999 L)
D3672	13" (33 cm)	31" (79 cm)	37" (94 cm)	79 gal (299 L)	317 gal (1200 L)
D3684	13" (33 cm)	34" (86 cm)	40" (102 cm)	92 gal (348 L)	370 gal (1400 L)
D3696	13" (33 cm)	37" (94 cm)	43" (109 cm)	106 gal (401 L)	423 gal (1601 L)
D36120	13" (33 cm)	43" (109 cm)	49" (124 cm)	132 gal (500 L)	529 gal (2002 L)

DATE	REVISIONS
10/29/2012	REVISED FOR NEW CONSTRUCTION
10/29/2012	THIRD SUBMITTAL
10/29/2012	SECOND SUBMITTAL
10/29/2012	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
ANKNEY, IDVA

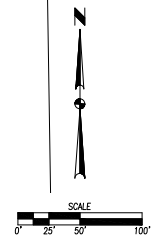
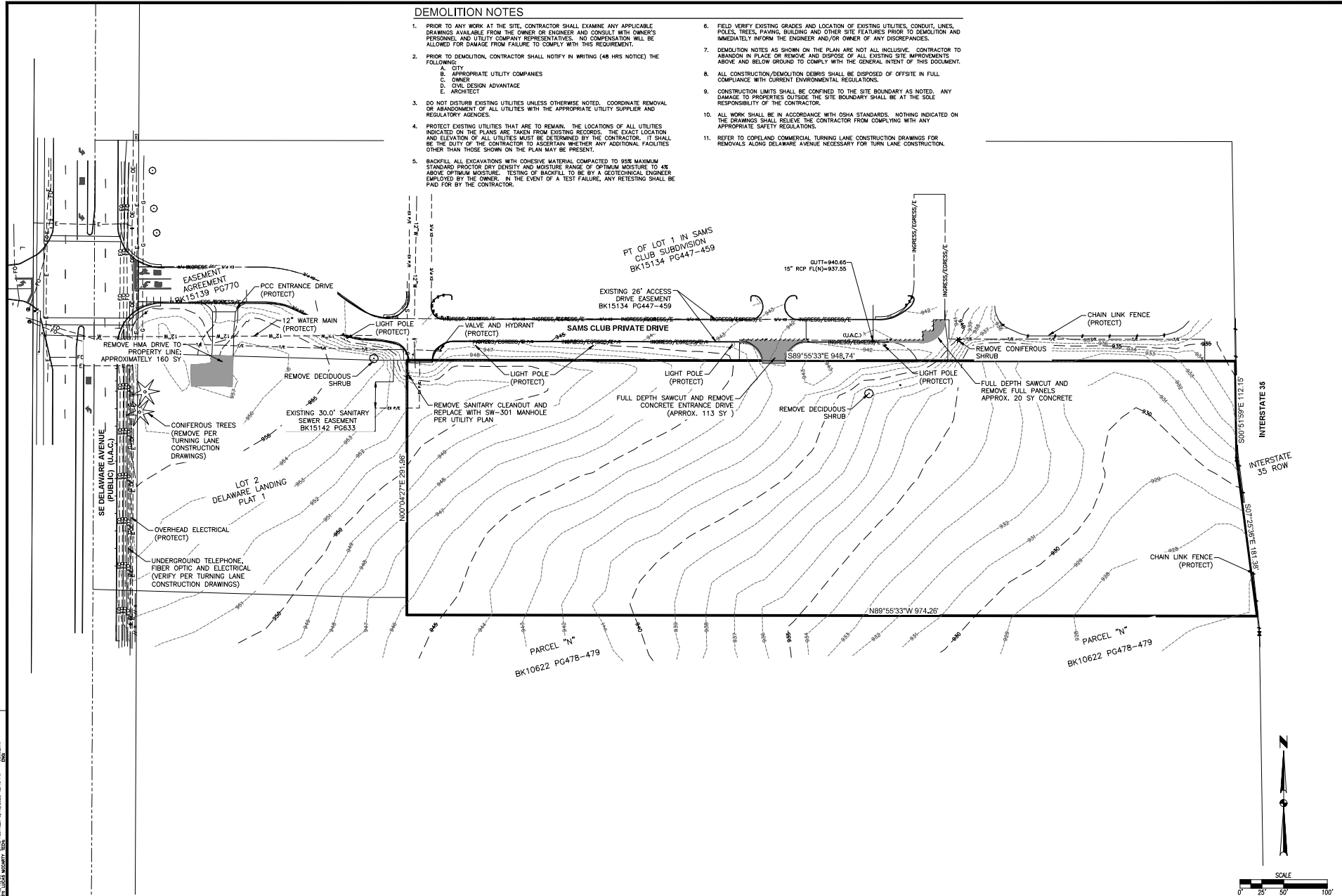
COPELAND COMMERCIAL
SANTARY SEWER DETAILS

C1.2

2205.322

DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- REFER TO COPELAND COMMERCIAL TURNING LANE CONSTRUCTION DRAWINGS FOR REMOVALS ALONG DELAWARE AVENUE NECESSARY FOR TURN LANE CONSTRUCTION.

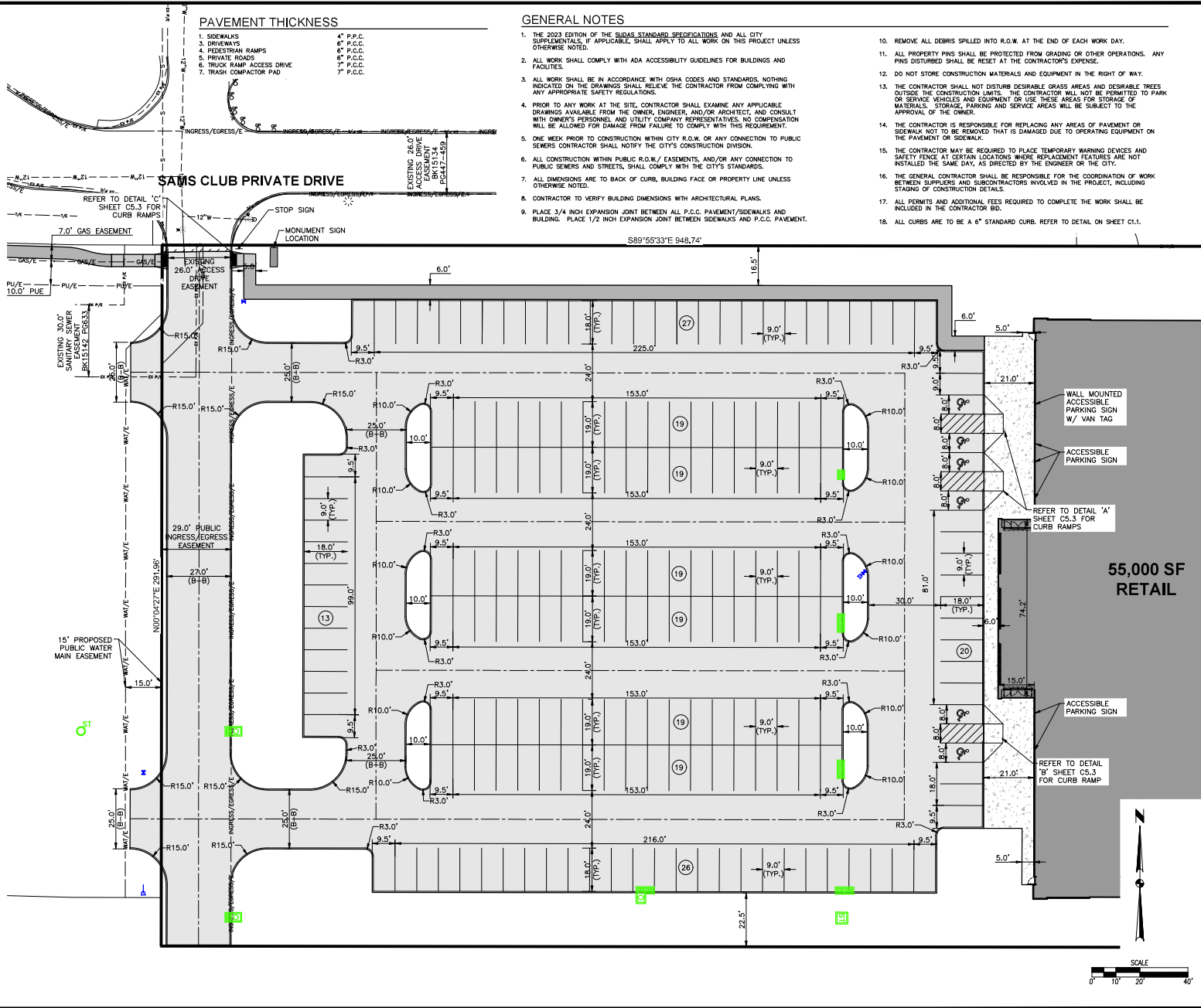
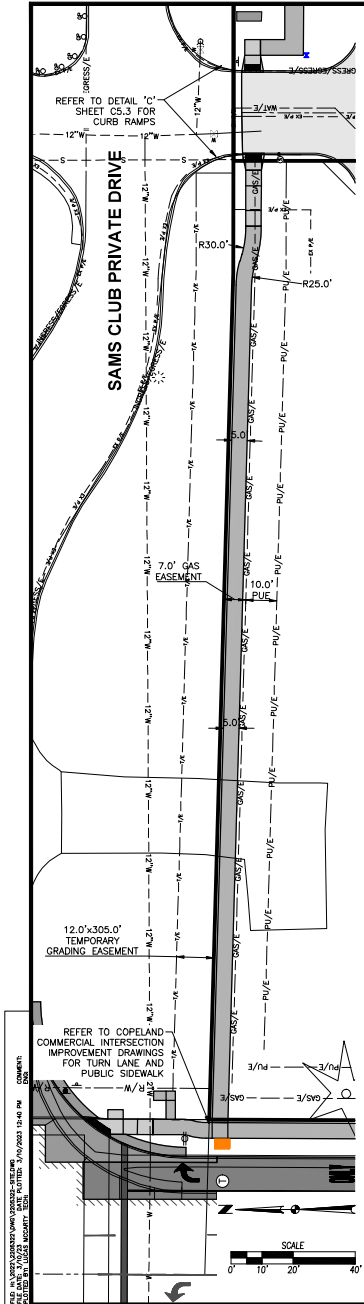


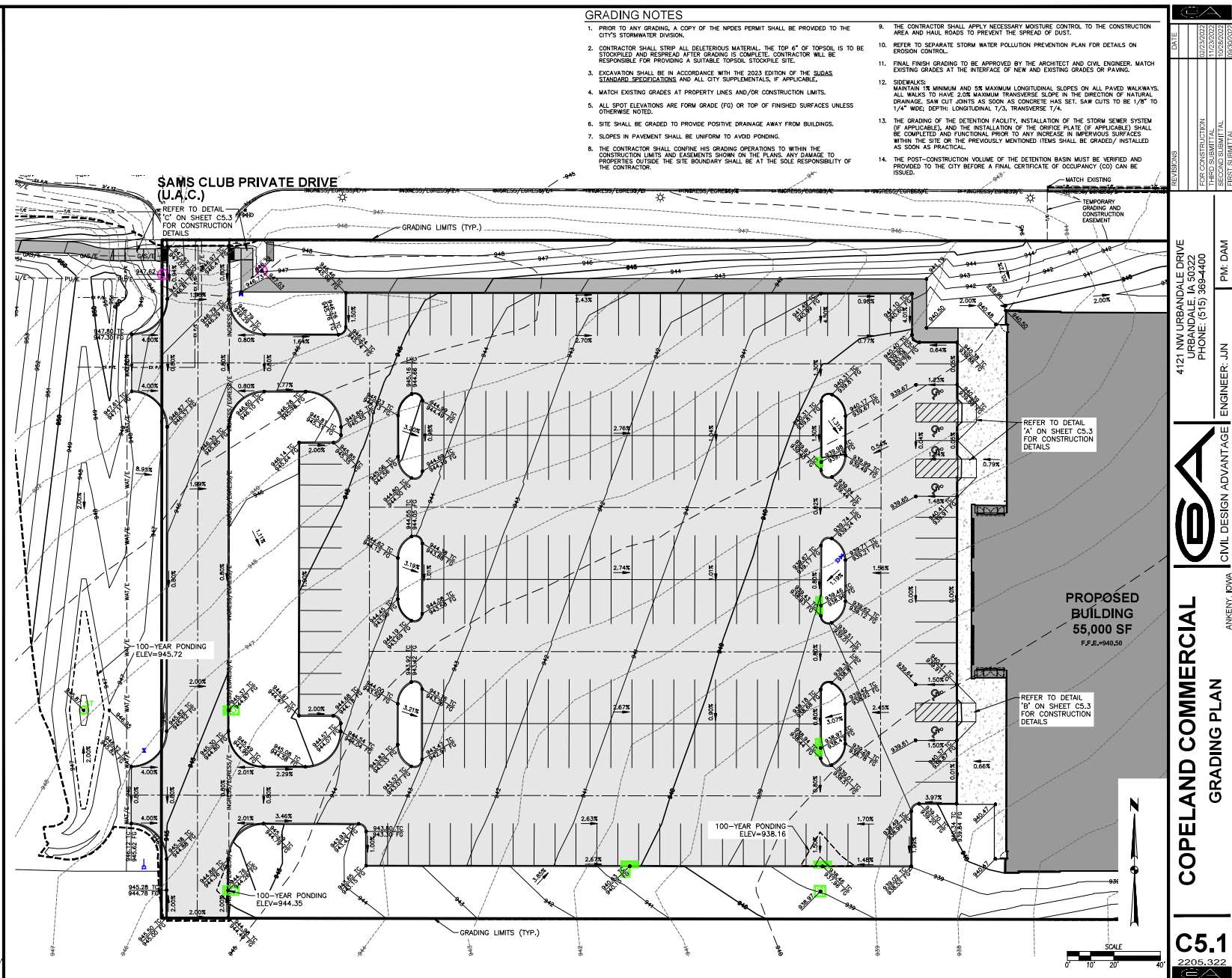
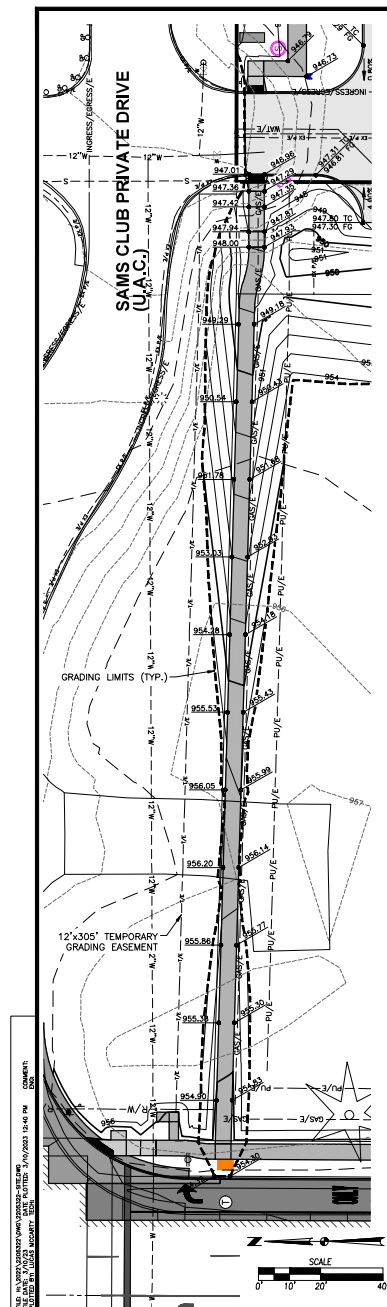
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10/23/2025	4. PREPARED FOR SUBMITTAL
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10/23/2025	100. PREPARED FOR SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 ENGINEER: JIN
 PM: DAM

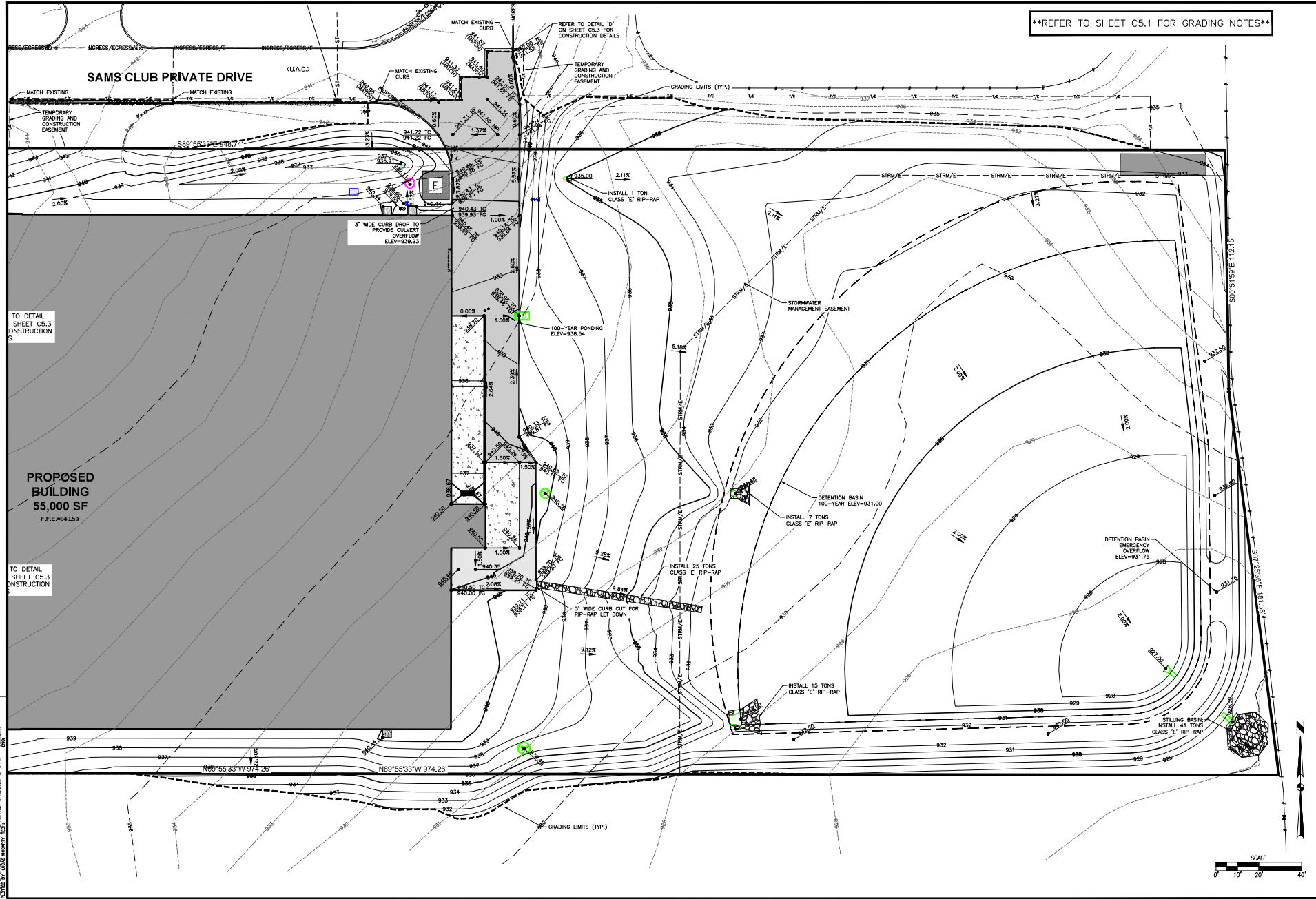


COPELAND COMMERCIAL
 DEMOLITION PLAN
 ANKENY, IOWA





FILED IN 2022 JAN 23 AM 10:55:12 BY: J. H. HARRIS
 FILED IN 2022 JAN 23 AM 10:55:12 BY: J. H. HARRIS
 FILED IN 2022 JAN 23 AM 10:55:12 BY: J. H. HARRIS



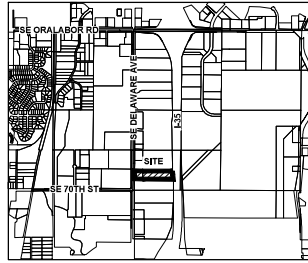
COPELAND COMMERCIAL GRADING PLAN		C5.2 2205.322	
CIVIL DESIGN ADVANTAGE		ANKENY, IOWA	
ENGINEER: JIN		PM: DAM	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400			
REVISIONS		DATE	
1. 2022/01/23		1. 2022/01/23	
2. 2022/01/23		2. 2022/01/23	
3. 2022/01/23		3. 2022/01/23	
4. 2022/01/23		4. 2022/01/23	
5. 2022/01/23		5. 2022/01/23	
6. 2022/01/23		6. 2022/01/23	
7. 2022/01/23		7. 2022/01/23	
8. 2022/01/23		8. 2022/01/23	
9. 2022/01/23		9. 2022/01/23	
10. 2022/01/23		10. 2022/01/23	

COPELAND COMMERCIAL

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



ANKENY, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	3,249
2	FILTER SOCK	LF	8
3	SEEDING, FERTILIZING, AND MULCHING	AC	3.16
4	WETLAND SEEDING	AC	0.89
5	INLET PROTECTION DEVICES	EA	9
6	CONCRETE WASHOUT PIT	EA	1
7	15" PVC TEMPORARY STANDPIPE	EA	1

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- WETLAND SEEDING WITHIN THE 100-YEAR STORM EVENT PONDING AREA SHALL CONFORM TO SUDAS SECTION 9010 WETLAND SEED MIX SPECIFICATIONS. SEED SHALL BE COVERED WITH HYDRO-MULCH FOR EROSION PROTECTION.

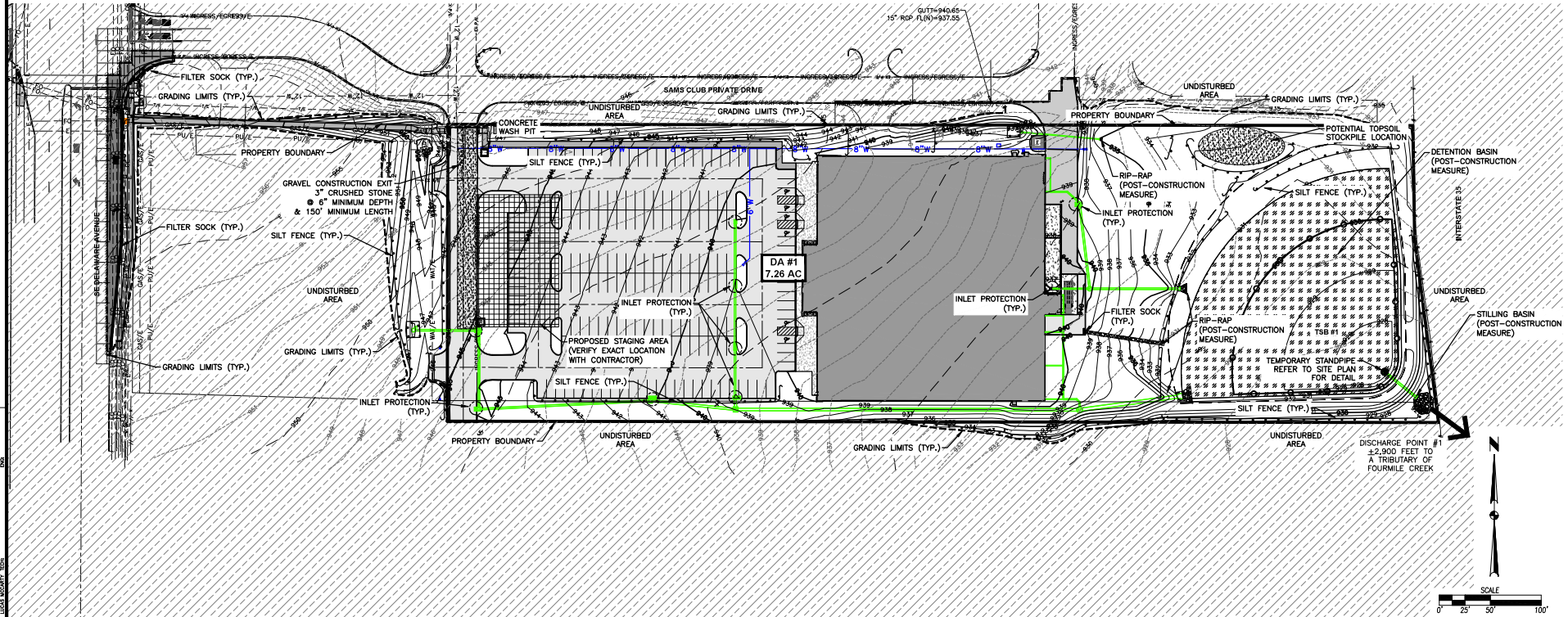
SWPPP LEGEND

DRAINAGE ARROW		AREA TO BE SEEDED	
GRADING LIMITS		UNDISTURBED AREA	
FILTER SOCK		RIP-RAP	
SILT FENCE		GRAVEL ENTRANCE	
INLET PROTECTION		STAGING AREA	
PORTABLE RESTROOM		TEMPORARY SEDIMENT BASIN	
TEMPORARY STANDPIPE			
CONCRETE WASHOUT PIT			

DISCHARGE POINT SUMMARY

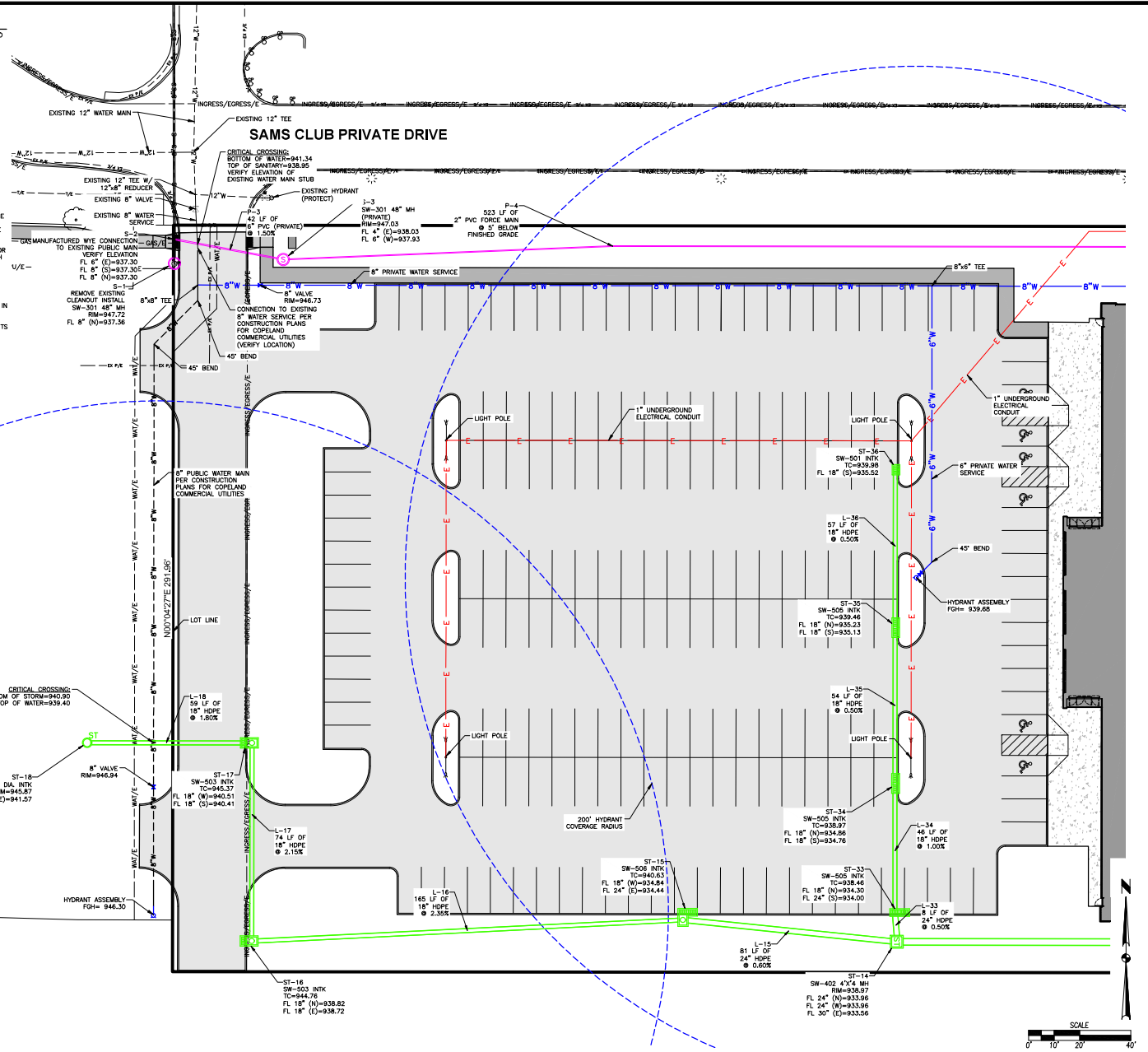
DISCHARGE POINT #1 TO FOURMILE CREEK ±2900 FT
TOTAL AREA DISTURBED TO DISCHARGE POINT
STORAGE VOLUME REQUIRED (4 OF ACRES/1000 CU FT)
VOLUME PROVIDED IN FILTER SOCK (8 LF @ 2.0 CU FT/LF OF SOCK)
VOLUME PROVIDED IN SILT FENCE (3249 LF @ 4.5 CU FT/LF OF FENCE)
VOLUME PROVIDED IN TSB
TOTAL VOLUME PROVIDED

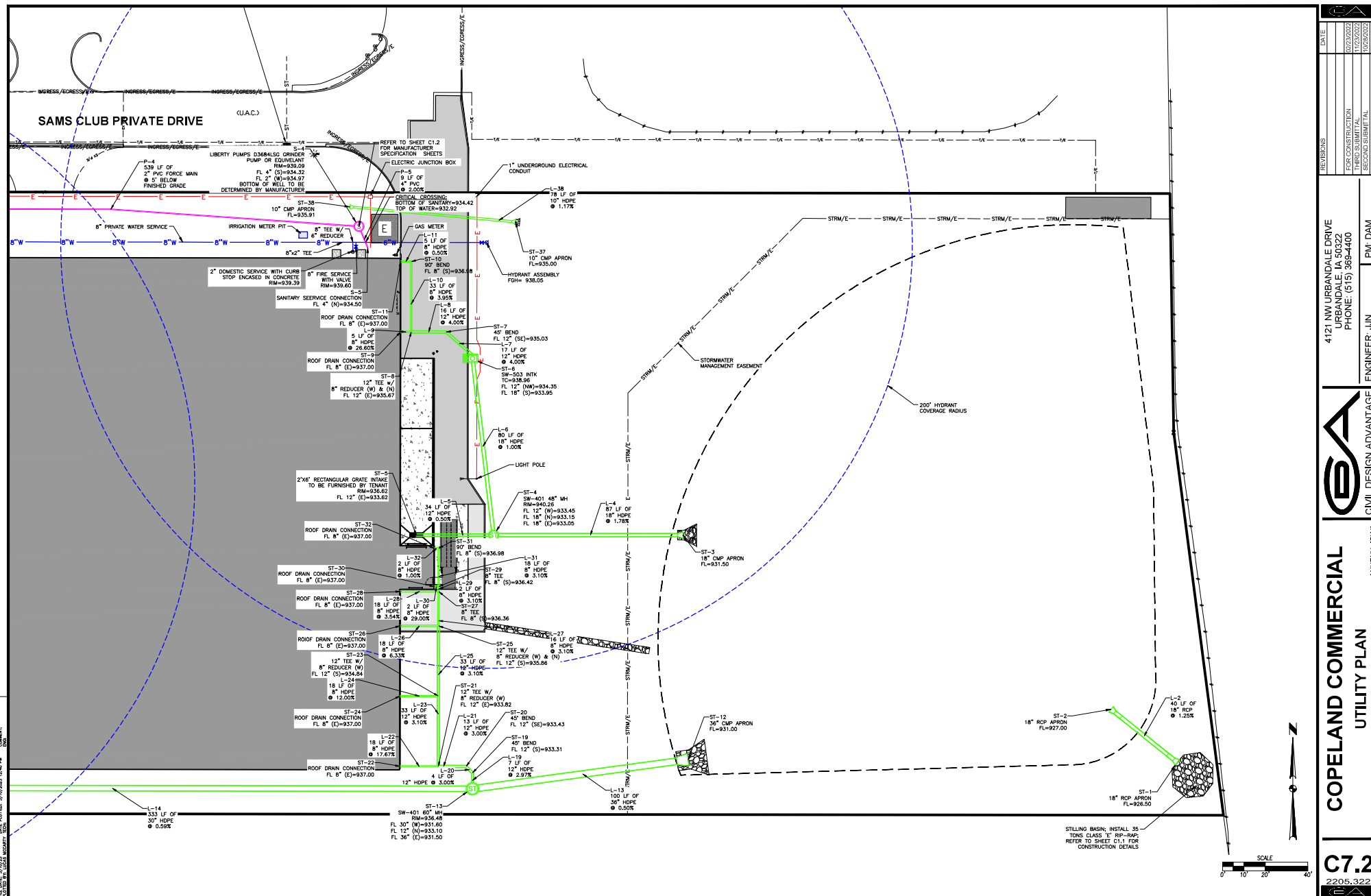
7.26 ACRES
26,150 CU FT
16 CU FT
14,621 CU FT
24,640 CU FT
39,277 CU FT



UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8999 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. EXISTING 8" WATER SERVICE MAP LOCATED; ACTUAL LOCATION MUST BE FIELD VERIFIED.
17. THE EXISTING SANITARY LINE WILL NEED TO BE VIDEO INSPECTED AFTER INSTALLATION OF THE WYE.





REVISIONS	DATE
FOR CONSTRUCTION	02/23/2022
THIRD SUBMITTAL	11/23/2022
SECOND SUBMITTAL	10/28/2022
FIRST SUBMITTAL	09/30/2022

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

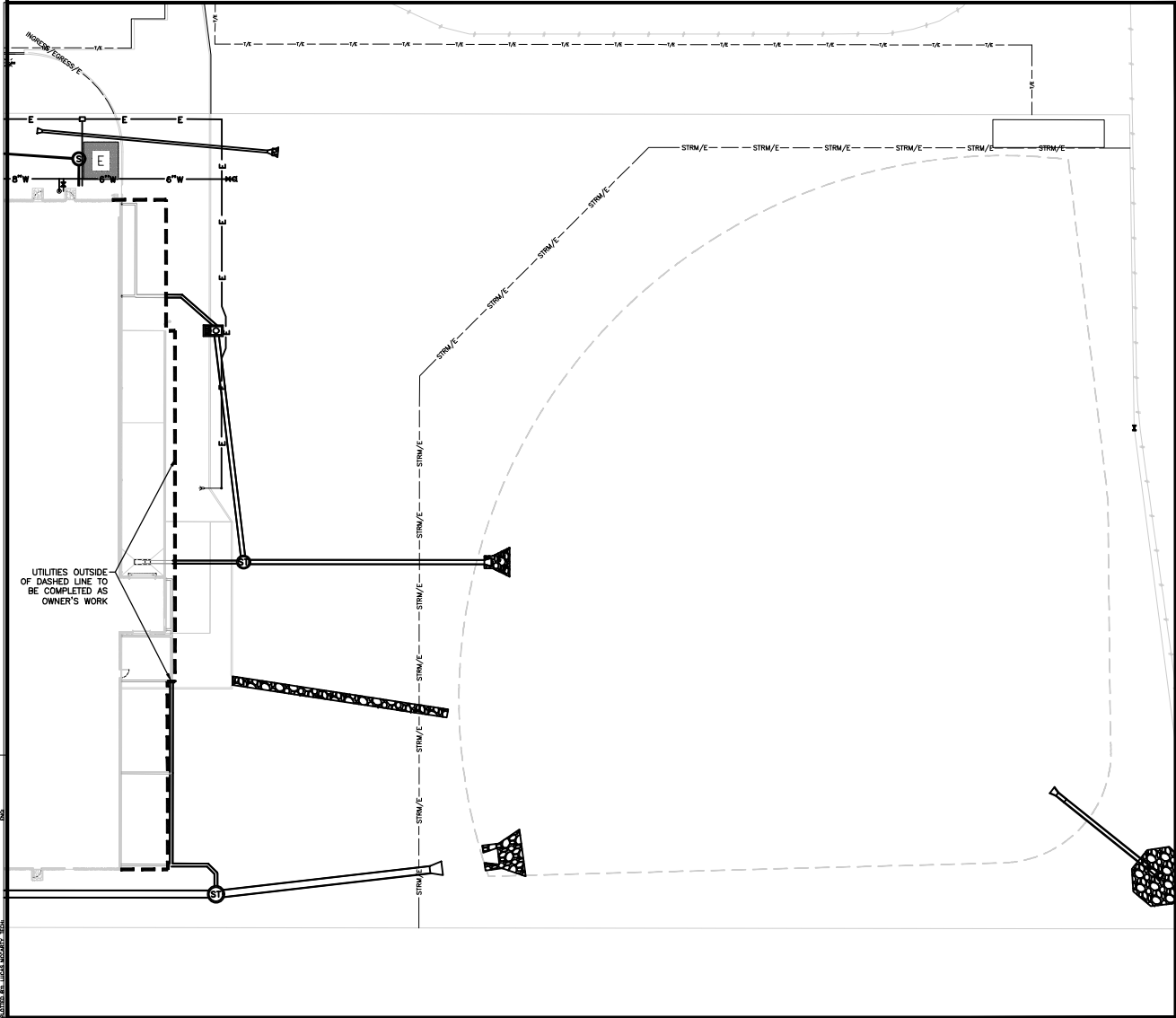


COPELAND COMMERCIAL

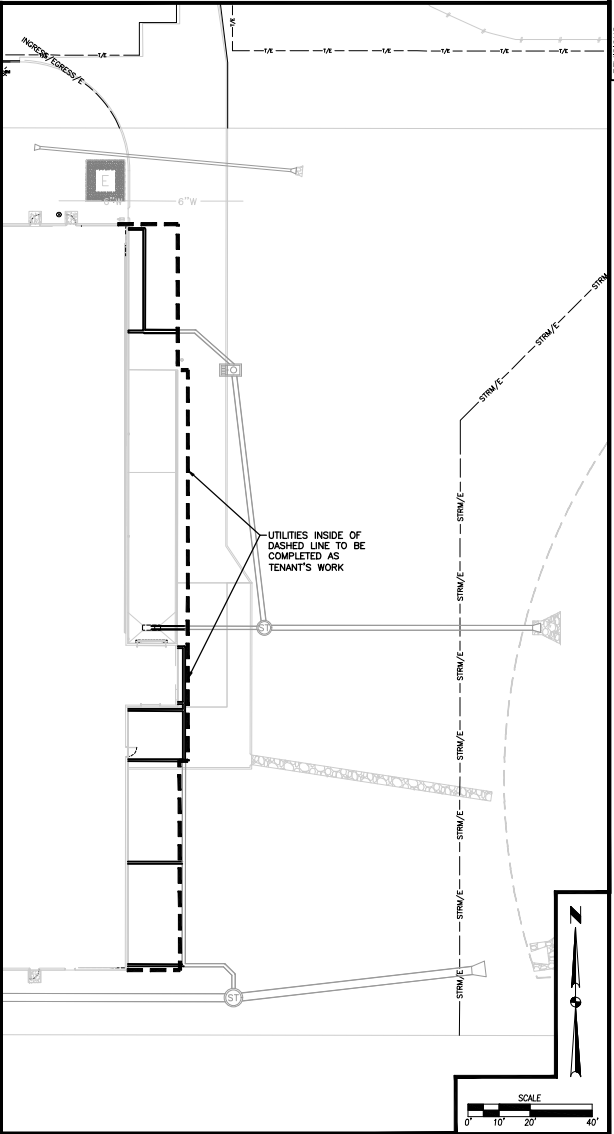
UTILITY PLAN

C7.2
2205.322

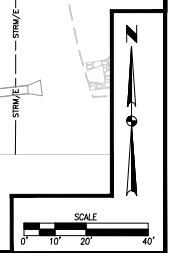
OWNER UTILITY WORK



TENANT CAI UTILITY WORK



FILED IN 2025 JANUARY 23 AM 10:55:02 - TULSA, OK COUNTY CLERK
FILED IN 2025 JANUARY 23 AM 10:55:02 - TULSA, OK COUNTY CLERK



COPELAND COMMERCIAL

TENANT CAI UTILITY PLAN

C7.3

2205.322

ANKER, DWA

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 368-4400

PM: DAM

REVISIONS

DATE	DESCRIPTION
10/29/2024	FOR CONSTRUCTION
11/23/2024	THIRD SUBMITTAL
10/29/2024	SECOND SUBMITTAL
09/30/2024	FIRST SUBMITTAL

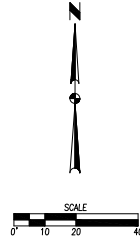
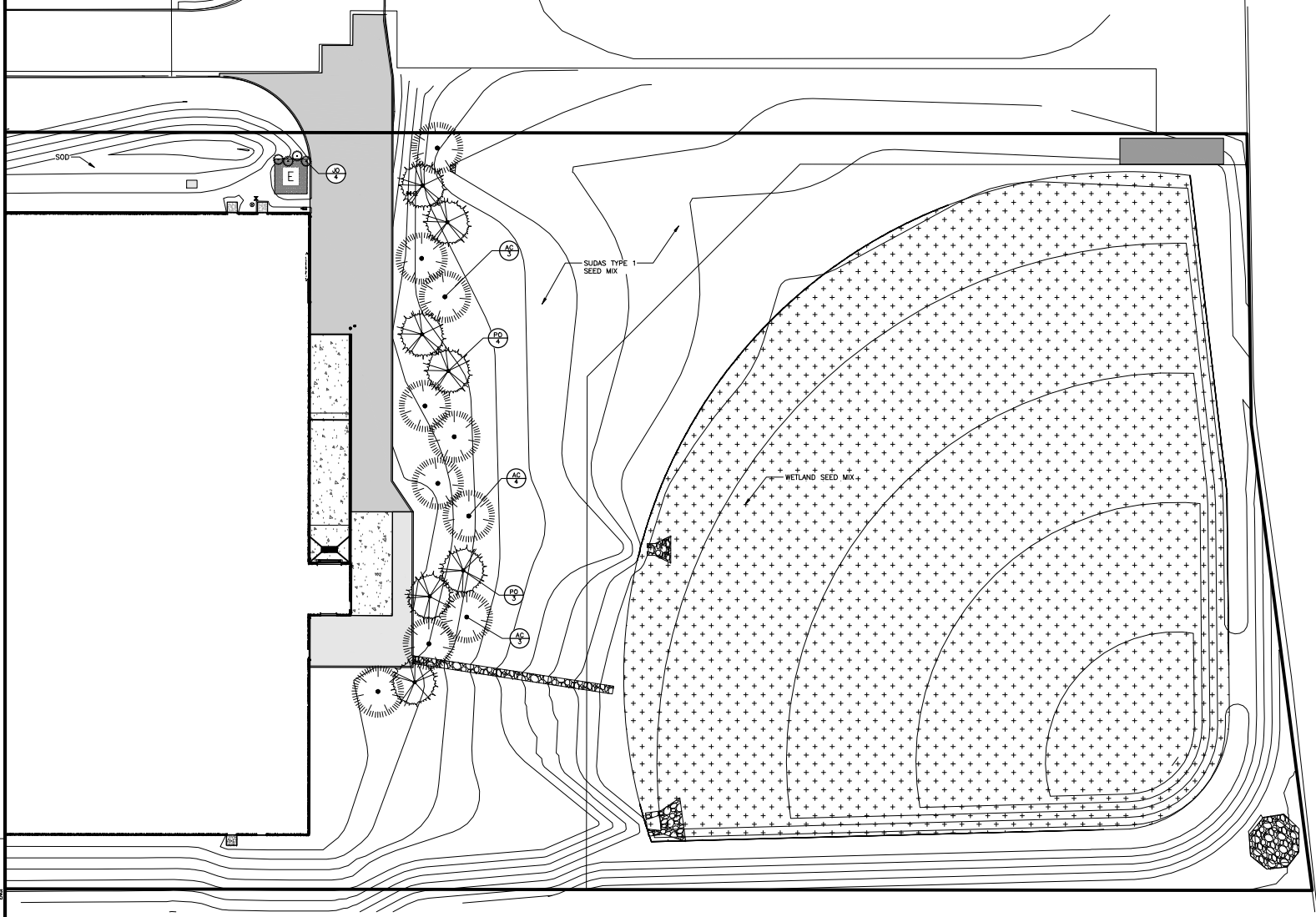
ES&A

CIVIL DESIGN ADVANTAGE

ENGINEER: JIN

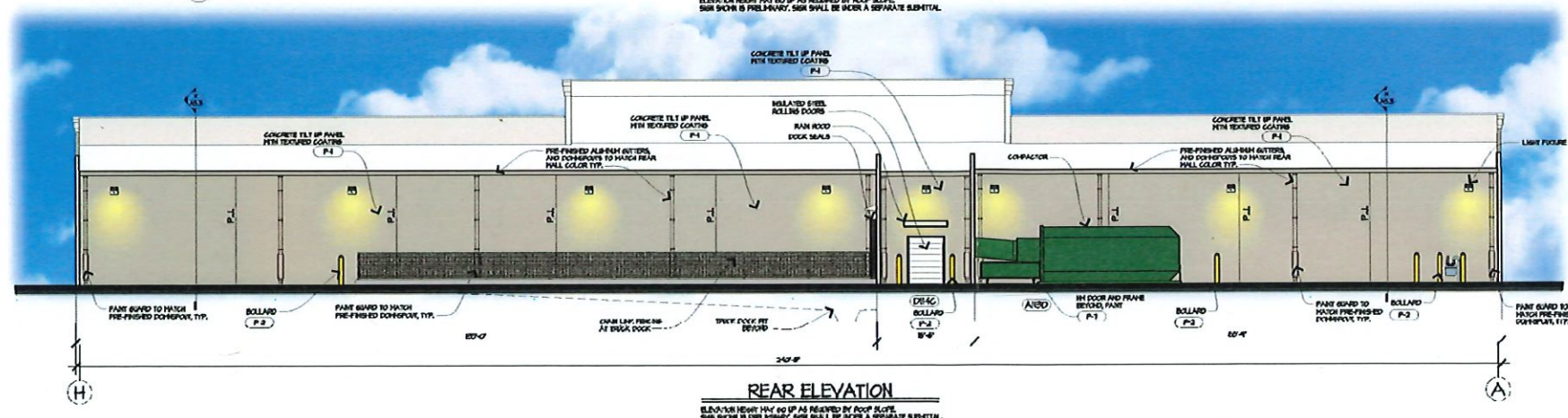
PM: DAM

FILED IN 2205.322 CIVIL 2205.322 - ANKENY, IOWA
DATE PLACED IN PUBLIC RECORD: 3/15/2022 12:04 PM
PLACED IN PUBLIC RECORD BY: ANKENY, IOWA



C8.2 2205.322	COPELAND COMMERCIAL LANDSCAPE PLAN	 CIVIL DESIGN ADVANTAGE	4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	DATE	03/03/2022
			ANKENY, IOWA	REVISIONS	PREPARED
			ENGINEER:	TECH:	

TILT-UP CONCRETE - 100%



NOTES:
66. TO OBTAIN ROBBY LOBBY APPROVAL ON
MANUFACTURER AND PATTERN OF BRICK AND SPLIT FACE
CALL ROBBY & MEIR

STORE NO.

A3.0